

**PLANNING COMMISSION STAFF REPORT
ADMINISTRATIVE ITEM**



Planning Division
Department of Community and
Economic Development

**PLNPCM2011-00464
O'Reilly Auto Parts
Building and Site Design Review
1122 South State Street
November 9, 2011**

Applicant: O'Reilly Auto Parts

Staff: Elizabeth Reining
801-535-6313
elizabeth.reining@slcgov.com

Tax ID: 16-07-306-017

Current Zone: CC

Overlay District: SSSC

Master Plan Designation:
Central Community Master Plan
Medium Density TOD
(10-50 du/acre)

Council District:
Council District 5,
Jill Remington Love

Community Council:
Ball Park

Lot Size: .62 acres

Current Use:
Closed Fast Food Restaurant

Applicable Land Use

- Regulations:**
- 21A.26.050 CC
 - 21A.34.090 SSSC
 - 21A.59 Conditional Building
Site Design and Review

Notice:
Mailing Notice: Oct. 27, 2011
Property Posted: Oct. 27, 2011
Agenda Published: Oct. 27, 2011

- Attachments:**
- A. Applicant Information
 - B. Site Photographs
 - C. Public Comments
 - D. Department Comments

Request

O'Reilly Auto Parts is requesting a building and site design approval at 1122 South State Street to allow them to build a new auto parts retail store that would not meet the minimum first floor glass requirement along one of its street frontages, Harvard Avenue, in the Corridor Commercial (CC) zoning district and South State Street Corridor (SSSC) overlay district. The Planning Commission has final decision making authority for building and site design review.

Recommendation

Based on the findings listed in the staff report, it is the Planning Staff's opinion that overall the project generally meets the applicable standards and therefore, recommends the Planning Commission approve with conditions the request. The recommendation has the following conditions:

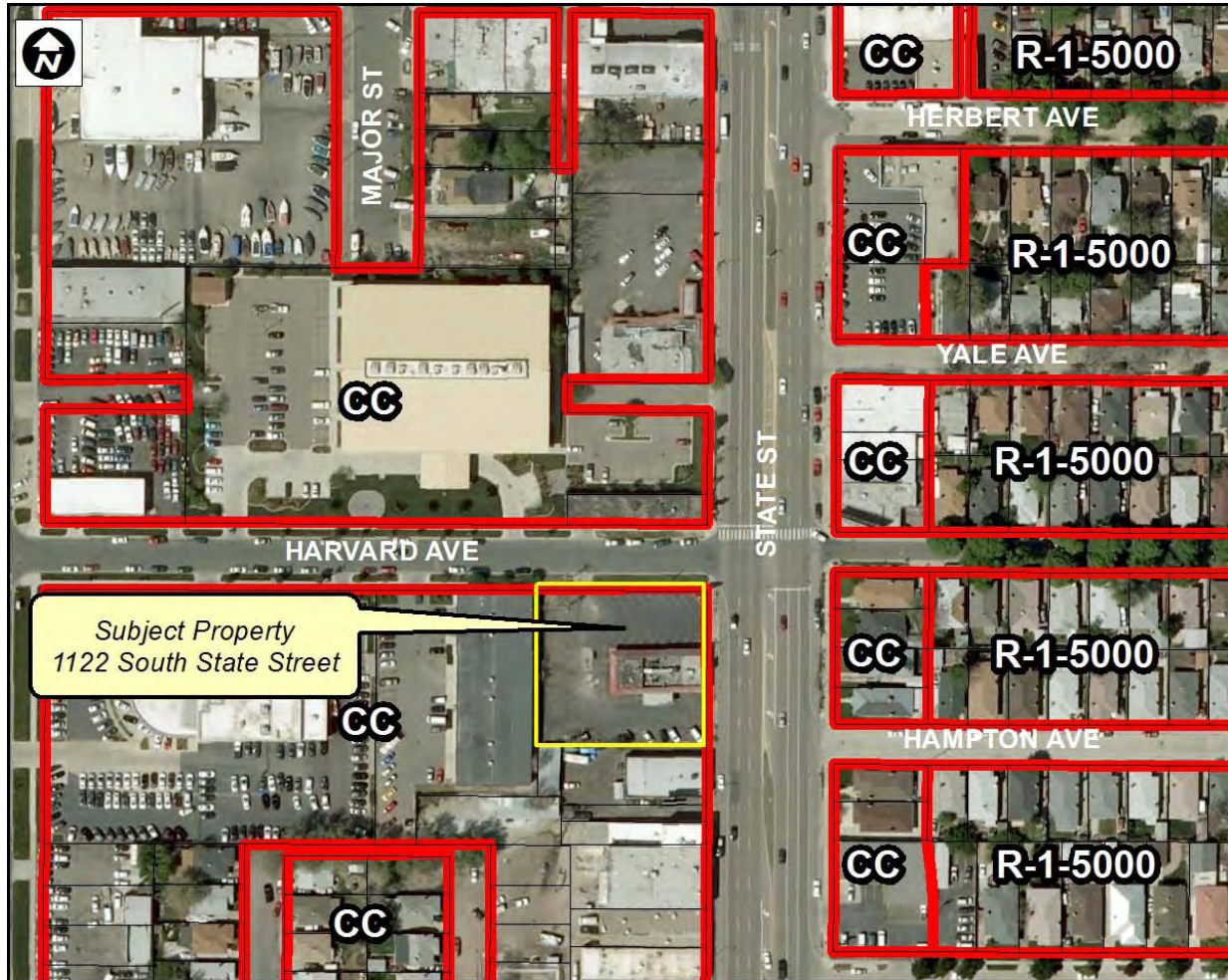
1. The applicant meets conditions set forth by city departments.

Recommended Motion

Based on the findings listed in the staff report and the testimony heard, I move that the Planning Commission approve the proposed building and site plan with the following conditions:

1. The applicant meets conditions set forth by city departments.

VICINITY MAP



Project Description

The subject property is located at 1122 South State Street and is zoned Corridor Commercial (CC) and is in the South State Street Corridor (SSSC) overlay district. Currently, there is a closed fast food restaurant, Los Betos, located on the site (See Attachment B). O'Reilly Auto Parts plans to demolish that structure and build a new retail auto parts store, a use allowed in the Corridor Commercial (CC) zoning district. The new structure will be placed closer to the intersection of State Street and Harvard Avenue with parking to the south and rear (See Attachment A). The new structure will be more accessible to pedestrians along State Street with one of the two main entrances off that right of way.

O'Reilly Auto Parts has requested a conditional building and site design review because it cannot meet the forty percent (40%) first floor glass requirement (21A.34.090.E.1) along Harvard Avenue, its side street façade. O'Reilly Auto Parts will meet the first floor glass standard for the front façade along State Street and provide twenty-one percent (21%) transparent glass on the parking lot façade. The parking lot façade will be visible to northbound State Street traffic. O'Reilly Auto Parts can meet the glass requirement along State Street because that area will be retail space. The area along Harvard Avenue will be a stock room. O'Reilly Auto Parts would prefer there not be glass in that area because it does not want that area visible to the public and it plans to use the outside wall for shelves and storage racks. O'Reilly Auto Parts plans to use a horizontal shift in the roof

line, and different types of building materials and plantings to help break down the façade along Harvard Avenue in lieu of placing glass there.

Master Plan Discussion

The subject property is found in the *Central Community Master Plan*. The property is designated as medium density transit oriented development (10 to 50 dwelling units per acre). Retail establishments are allowed in this designation. In the *Central Community Master Plan* emphasis is placed on creating a walkable environment. By moving the building up to the right of way and placing an entrance directly on State Street, O'Reilly Auto Parts is creating a more pleasing environment for pedestrians than the design of the currently closed restaurant. The proposed development is consistent with the master plan.

Public Comment

The proposed development was presented at the September 12, 2011 Community Open House. While the proposed development is within the Ball Park Community Council district, it is on the border of the Central City/ Liberty Wells Community Council district. Most public comments received simply noted the existence of a similar type of business close to this site. All public comments are included in Attachment C.

City Department Comments

The comments received from pertinent City Departments/Divisions are attached to this staff report in Attachment D. Several comments need to be conditions of approval. Those comments are:

- Demolition plans of the existing dead drive approach to State Street, the existing piped drive approach to State Street and the existing paved park strip to State Street must be presented.
- Some existing cracked sidewalk panels in State Street must be removed as part of this project.
- The proposed design moves the existing east egress door northward. For this to be successful, the elevation of the door and the State Street sidewalk must be designed in a way that the egress will meet the building code. The door must open onto a surface with a 2% slope.
- Bicycle rack details need to be submitted for review. On the utility sheet note coordination with the Salt Lake City Street Lighting Coordinator for relocation of light poles. Final permit approval is subject to full permit plan set review.

Analysis and Findings

Conditional Building and Site Design Review (21A.59)

21A.59.060: Standards for Design Review

In addition to standards provided in other sections of this title for specific types of approval, the following standards shall be applied to all applications for design review:

- A. **Development shall be primarily oriented to the street, not an interior courtyard or parking lot.**
 1. Primary building orientation shall be toward the street rather than the parking area. The principal entrance shall be designed to be readily apparent.
 2. At least sixty percent (60%) of the street frontage of a lot shall have any new building located within ten feet (10') of the front setback. Parking is permitted in this area.

3. Any buildings open to the public and located within thirty feet (30') of a public street shall have an entrance for pedestrians from the street to the building interior. This entrance shall be designed to be a distinctive and prominent element of the building's architectural design, and shall be open to the public during all business hours.
4. Each building shall incorporate lighting and changes in mass, surface or finish to give emphasis to its entrances.

Analysis: The proposed building will be oriented towards both State Street and a parking lot to the south, with public entrances on both orientations. Each entrance will be considered a primary entrance giving store access to pedestrians from State Street and customers from the parking lot. Each entrance will have a distinctive look to distinguish it from the building face with recessed doors (See Attachment A). The building will be within three feet (3') of the right of way along Harvard Avenue and five feet (5') along State Street.

Finding: Staff finds that the proposed building generally meets the criteria of Standard A. The building is oriented towards State Street by being within five feet (5') of the right of way and having a distinct entrance for pedestrians.

B. Primary access shall be oriented to the pedestrian and mass transit.

1. Each building shall include an arcade, roof, alcove, portico, awnings or similar architectural features that protect pedestrians from the rain and sun.

Analysis: The proposed O'Reilly Auto Parts building will have two main entrances, one from State Street and another from the parking lot. The entrance from State Street will be for pedestrians and mass transit users. Both entrances will be recessed into the building with an overhanging roof to provide cover for patrons entering and exiting the building.

Finding: Staff finds that the proposed building meets the criteria of Standard B. An entrance is on State Street for pedestrians and mass transit users and both building entrances have roof cover to protect patrons from weather elements.

C. Building facades shall include detailing and glass in sufficient quantities to facilitate pedestrian interest and interaction.

1. At least forty percent (40%) of any first floor wall area that faces and is within thirty feet (30') of a primary street, plaza or other public open space shall contain display areas, windows or doorways. Windows shall allow views into working area or lobby, a pedestrian entrance, or display area. First floor walls facing a side street shall contain at least twenty five percent (25%) of the wall space in window, display area or doors. Monolithic walls located within 30 feet (30') of a public street are prohibited.
2. Recessed or projecting balconies, verandas or other usable space above the ground level on existing and new buildings is encouraged on a street facing elevation. Balconies may project over a public right of way, subject to an encroachment agreement issued by the City.

Analysis: The proposed building façade along State Street will be forty percent (40%) transparent glass. The façade facing the south parking lot will be twenty-one percent (21%) transparent glass. The building façade along Harvard Avenue will not have glass or doors, thus not meeting the requirement. The portion along Harvard Avenue will have a horizontal shift in the roof line and different types of building materials and plantings to break up the monolithic wall. The building only

has a ground floor so subsection 2 does not apply to this application.

Finding: Staff finds that the building only meets the criteria for the building façade along State Street. The building does not meet the standard for the façade along Harvard Avenue. This requirement is similar to the requirements of the South State Street Corridor (SSSC) overlay district in which the applicant is asking for relief. While the applicant does not meet the requirement, it does break up the store front along Harvard Avenue with a horizontal shift in the roof line and different types of building materials and plantings.

D. Architectural detailing shall emphasize the pedestrian level of the building.

Analysis: The proposed building's architectural detailing emphasizes the pedestrian entrance off State Street and general entrance from the parking lot. Both entrances are emphasized by being recessed into the building. A roof line horizontal shift, plantings and different types of building materials are used to break up the façade along Harvard Avenue.

Finding: Staff finds the building meets the criteria of Standard D. The building emphasizes the pedestrian level in its architectural detailing.

E. Parking lots shall be appropriately screened and landscaped to minimize their impact on adjacent neighborhoods.

1. Parking areas shall be located behind or at one side of the building. Parking may not be located between a building and a public street.
2. Parking areas shall be shaded by large broadleaf canopied trees placed at a rate of one tree for each six (6) parking spaces. Parking shall be adequately screened and buffered from adjacent uses.
3. Parking lots with fifteen (15) spaces or more shall be divided by landscaped areas including a walkway at least ten feet (10') in width or by buildings.

Analysis: All parking for the project will be appropriately screened from State Street, Harvard Avenue and neighboring properties. Parking is behind a fifteen foot (15') landscape buffer along both State Street and Harvard Avenue. Landscaping is provided along the perimeter of the proposed parking lot separating the parking from neighboring properties. Also, the building is directly on the corner of State Street and Harvard Avenue, this will help further hide parking from the public rights of way.

Finding: Staff finds the proposal generally meets the criteria of Standard E. All parking will be screened from public rights of way and neighboring property.

F. Parking lot lighting shall be shielded to eliminate excessive glare or light into adjacent neighborhoods.

Analysis: Parking structure lighting will be directed away from adjoining property and projected onto the site.

Finding: Staff finds the proposed development generally meets the criteria of Standard F.

G. Parking and on site circulation shall be provided.

1. Connections shall be made when feasible to any streets adjacent to the subject property and to any pedestrian facilities that connect with the property.
2. A pedestrian access diagram that shows pedestrian paths on the site that connect with a public sidewalk shall be submitted.

Analysis: There are existing public sidewalks along State Street and Harvard Avenue. The proposed store will have a pedestrian entrance directly along State Street and there is a proposed sidewalk along the building in the parking lot. The parking lot will have entrances from both State Street and Harvard Avenue.

Finding: Staff finds the project generally meets the criteria of Standard G. The proposed building will have unobstructed pedestrian access to State Street.

H. Dumpsters and loading docks shall be appropriately screened or located within the structure.

1. Trash storage areas, mechanical equipment and similar areas are not permitted to be visible from the street nor permitted between the building and the street.
2. Appropriate sound attenuation shall occur on mechanical units at the exterior of buildings to mitigate noise that may adversely impact adjacent residential uses.

Analysis: The dumpsters for the proposed project are to be located to the rear of the property and screened from view. The rooftop mechanical equipment will be shielded by parapets on all sides.

Finding: Staff finds the building generally meets the criteria of Standard H. Both the dumpsters and mechanical equipment will be screened from public view.

I. Signage shall emphasize the pedestrian/mass transit orientation.

Analysis: Building signage shall consist of two flat signs facing State Street and Harvard Avenue respectively and one store front orientation flat sign facing the site's parking lot. The proposed signage will allow pedestrians and mass transit users along State Street to identify the building and note building entrances. All building signage will meet sign regulations for the Corridor Commercial (CC) zoning district, Section 21A.46.090.C.

Finding: Staff finds the proposal meets the criteria of Standard I.

J. Lighting shall meet the lighting levels and design requirements set forth in Chapter 4 of the Salt Lake City lighting master plan dated May 2006.

Analysis: The preliminary lighting plan provided by the applicant (See Attachment A) generally meets Chapter 4 of the Salt Lake City lighting master plan.

Finding: Staff believes the proposed site plan generally meets the criteria of Standard J.

K. Streetscape improvements shall be provided as follows:

1. One street tree chosen from the street tree list shall be placed for each thirty feet (30') of property frontage on a street.
2. Landscaping material shall be selected that will assure eighty percent (80%) ground coverage occurs within three (3) years.
3. Hardscape (paving material) shall be utilized to designate public spaces. Permitted materials include unity masonry, scored and colored concrete, grasscrete or combinations of above.
4. Outdoor storage areas shall be screened from view from adjacent public rights of way. Loading facilities shall be screened and buffered when adjacent to residentially zoned land and any public street.
5. Landscaping design shall include a variety of deciduous and/or evergreen trees, and shrubs and flowering plant species well adapted to the local climate.

Analysis: The preliminary landscape plan generally meets the City's landscaping requirements and Standard K. Street trees will be placed at the parking lot entrance off State Street and will line Harvard Avenue. The additional proposed landscaping material should provide eighty percent (80%) ground coverage in three (3) years.

Finding: Staff believes the proposed site plan generally meets the criteria of Standard K.

L. Street trees shall be provided as follows:

1. Any development fronting on a public or private street shall include street trees planted consistent with the City's urban forestry guidelines and with the approval of the City's urban forester.
2. Existing street trees removed as a result of a development project shall be replaced by the developer with trees approved by the City's urban forester.

Analysis: The preliminary landscape plan generally meets the City's landscaping requirements and Standard L. Street trees (lacebark elms) will be placed at the parking lot entrance off State Street. Additional street trees (chokecherries) will line Harvard Avenue, the building façade without a public entrance. There are no existing street trees at the site.

Finding: Staff believes the proposed site plan generally meets the criteria of Standard L.

M. Additional standards shall apply to any large scale developments with a gross floor area exceeding sixty thousand (60,000) square feet.

Analysis: The gross floor area of the proposed building is 7,854 square feet. Therefore, Standard M does not apply to this review.

Finding: Standard M does not apply to this project because the subject building is under 60,000 square feet at 7,854 square feet.

N. Any new development shall comply with the intent of the purpose statement of the zoning district and specific regulations found within the zoning district in which the project is located as well as adopted master plan policies, the City's adopted "urban design element" and design guidelines governing the specific area of the proposed development. Where there is a conflict between the

standards found in this section and other adopted plans and regulations, the more restrictive regulations shall control.

Analysis: The proposed O'Reilly Auto Parts store meets the purpose statements of the Corridor Commercial (CC) zoning district and South State Street Corridor (SSSC) overlay district.

Corridor Commercial (CC) Zoning District Purpose Statement

“Provide an environment for efficient and attractive commercial development with a local and regional market area along arterial and major collector streets while promoting compatibility with adjacent neighborhoods through design standards. This district provides economic development opportunities through a mix of land uses, including retail sales and services, entertainment, office and residential. Safe, convenient and inviting connections that provide access to businesses from public sidewalks, bike paths and streets are necessary. Access should follow a hierarchy that places the pedestrian first, bicycle second and automobile third. This district is appropriate in areas where supported by applicable master plans. The standards are intended to promote a safe and aesthetically pleasing environment to all users.”

The proposed O'Reilly Auto Parts store will provide an additional retail store along State Street, with access to the store directly from the street. Its design will be consistent with surrounding businesses and aesthetically pleasing to passersby on State Street.

South State Street Corridor (SSSC) Overlay District Purpose Statement

“Acknowledge and reinforce the historical land development patterns along South State Street.”

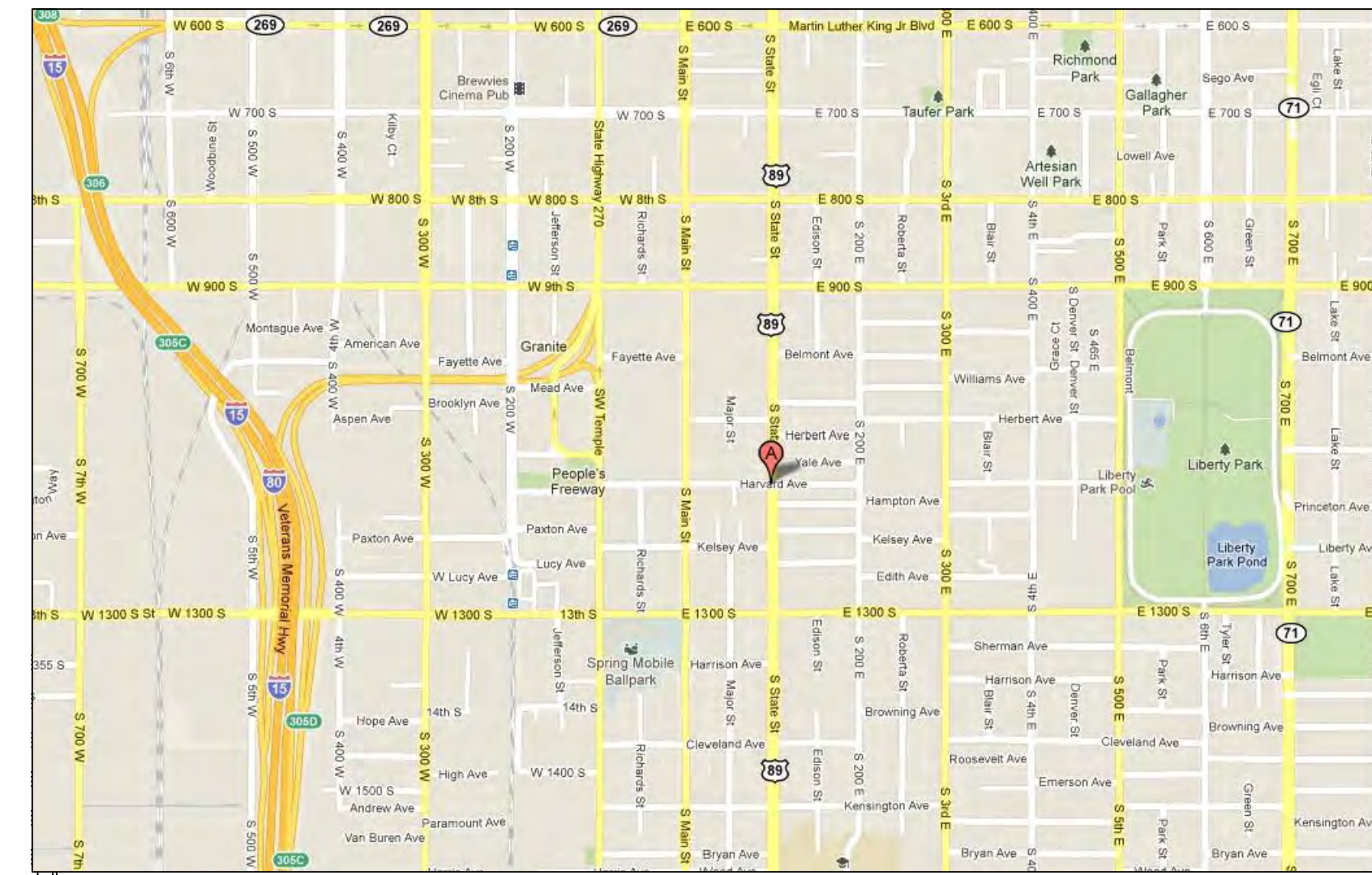
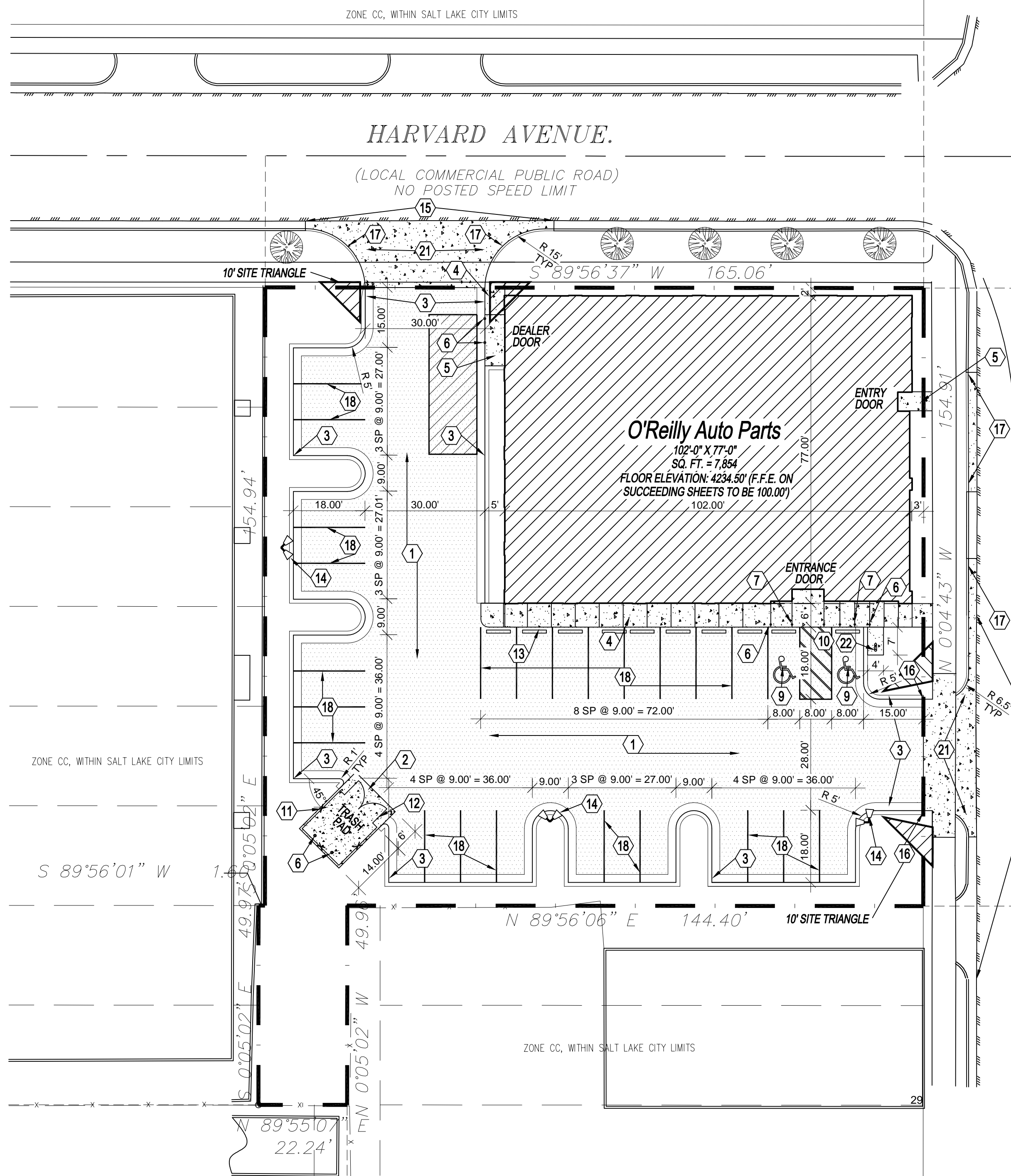
The proposed building will match the character of surrounding structures on State Street. Most of the surrounding buildings are brick or concrete material with glass store fronts along State Street.

Finding: Staff finds that the property generally meets the criteria of Standard N. The project generally meets the Corridor Commercial (CC) zoning district and South State Street Corridor (SSSC) overlay district standards.

Board/Commission Options

Options for the building and site design application include approval, approval with conditions or denial of the request. If the request is denied, O'Reilly Auto Parts can still develop the site but will have to meet the glass requirement along Harvard Avenue. If the request is approved, O'Reilly Auto Parts can develop the project as proposed.

Attachment A Applicant Information



GENERAL NOTES:

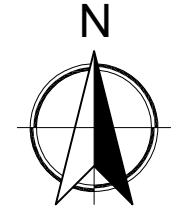
- A. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B. ALL SITE DIMENSIONS TO THE GUTTER LINE OF CURB, CONCRETE OR PROPERTY LINE UNLESS OTHERWISE NOTED. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND STARTING CONSTRUCTION.
- C. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- D. REFER TO STRUCTURAL PLANS FOR DEVELOPMENT OF SIDEWALKS ADJACENT TO FOUNDATIONS.

KEY NOTES:

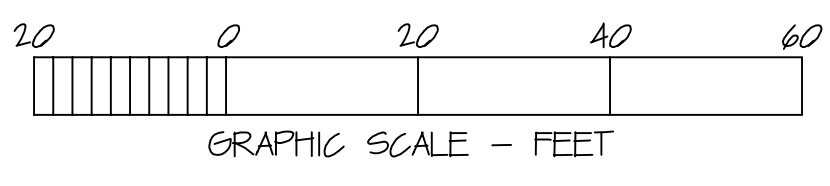
- 1 CONCRETE PAVING: REFER TO DETAIL 1/C3.
- ALTERNATE #1: ASPHALT PAVING REFER TO DETAIL 2/C3. REFER TO PROJECT MANUAL.
- 2 CONCRETE PAVING: REFER TO DETAIL 1/C3.
- 3 CONCRETE CURB: REFER TO DETAIL 3/C3.
- 4 CONCRETE SIDEWALK: REFER TO DETAIL 4/C3.
- 5 CONCRETE DOOR LANDING: REFER TO DETAIL 4/C3 AND STRUCTURAL DETAILS. RAMP PAVING AS INDICATED. LANDING CAN BE POURED MONOLITHIC IF CONCRETE PAVING IS USED.
- 6 STEEL BOLLARD: REFER TO DETAIL 6/C3. PROVIDE (2) AT TRASH PAD AND OVERHEAD DOOR, PROVIDE (9) AT SIDEWALK. REFER TO STRUCTURAL PLAN FOR LOCATION.
- 7 HANDICAP PARKING SIGN: REFER TO DETAIL 7/C3.
- 8 NOT USED.
- 9 HANDICAP PARKING SYMBOL: REFER TO DETAIL 5/C3.
- 10 HANDICAP ACCESS UNLOADING ZONE: SLOPE 2% MAX. EACH WAY (ADA COMPLIANT) AND STRIPE AS SHOWN.
- 11 SCREEN FENCE: REFER TO DETAIL 12/C3.
- 12 SCREEN FENCE GATES: REFER TO DETAIL 11/C3.
- 13 CONCRETE BUMPER BLOCK: 8" x 5" x 6" LONG CONCRETE. ANCHOR TO PAVING WITH (2) 1"-6" LONG #4 REBAR (TO SIT LEVEL WITH PAVING).
- 14 PARKING LOT LIGHTING: REFER TO SITE UTILITIES PLAN FOR LOCATION AND TYPE.
- 15 LIMITS OF NEW PAVING: MATCH EXISTING PER CITY AND OR STATE STANDARDS.
- 16 ROLL DOWN CURB: TERMINATE AND ROLL DOWN NEW CURB WHERE INDICATED. ROLL DOWN AT 1:2.
- 17 CONCRETE CURB: NEW CONCRETE CURB TO MATCH EXISTING ADJACENT CURB.
- 18 STRIPING: PROVIDE 4" WIDE PARKING LOT STRIPING AS SHOWN. USE HIGHWAY MARKING PAINT - YELLOW (2 COATS)
- 19 CURB CUT: 36" CURB OPENING. REFER TO SHEET C1.
- 20 SIGN LOCATION: SIGN FURNISHED AND INSTALLED BY OWNER. REFER TO SITE UTILITIES PLAN FOR DETAILS.
- 21 CONCRETE DRIVE APRON: TO BE INSTALLED PER CITY AND OR STATE DESIGN STANDARDS. IF NO STANDARDS PROVIDE CONCRETE PAVING CONSTRUCTION AS SHOWN ON DETAIL 1/C3.
- 22 BICYCLE PARKING: INVERTED U/2 BICYCLE RACKS BY CYCLE-SAFE MODEL 12700G OR APPROVED EQUAL.

STATE STREET
(U.S. - 89 STATE ROUTE)
POSTED SPEED LIMIT 35 MPH

1 SITE DEVELOPMENT PLAN
C2 SCALE: 1" = 20'



REFER TO LANDSCAPE PLANS FOR PLANTINGS



SITUATE IN THE SOUTHWEST QUARTER OF SECTION 07, TOWNSHIP 1 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN. LOCATED WITHIN LOT 18, BLOCK 22, 5-ACRE PLAT 'A' SALT LAKE CITY SURVEY. 1122 SOUTH STATE STREET, SALT LAKE CITY, UTAH 84101

LEGAL DESCRIPTION (PER TITLE COMMITMENT)

BEGINNING AT A POINT NORTH 89°56'40" EAST 123.75 FEET ALONG THE SOUTH LINE OF HARVARD AVENUE FROM THE NORTHWEST CORNER OF LOT 21, BLOCK 16, MAIN STREET SUBDIVISION, (VACATED), BEING A SUBDIVISION OF LOTS 15, 16, AND 18, BLOCK 22, FIVE ACRE PLAT 'A', BIG FILED SURVEY; SAID POINT OF BEGINNING ALSO BEING NORTH 89°56'40" EAST 123.75 FEET FROM THE INTERSECTION OF THE EAST LINE OF MAJOR STREET AND THE SOUTH LINE HARVARD AVENUE; THENCE SOUTH 0°01'57" EAST 155.10 FEET; THENCE SOUTH 89°56'40" WEST 1.60 FEET; THENCE SOUTH 0°46'21" WEST 50 FEET; THENCE NORTH 89°56'40" EAST 23.8 FEET; THENCE NORTH 50 FEET; THENCE EAST 144.375 FEET TO THE WEST LINE OF STATE STREET; THENCE NORTH ALONG SAID WEST LINE 155.1 FEET TO THE INTERSECTION OF THE WEST LINE OF STATE STREET AND THE SOUTH LINE OF HARVARD AVENUE; THENCE SOUTH 89°56'40" WEST 165 FEET ALONG THE SOUTH LINE OF HARVARD AVENUE TO THE POINT OF BEGINNING.

SURVEY LEASEHOLD LEGAL DESCRIPTION (AS SURVEYED)

BEGINNING AT A POINT NORTH 89°56'37" EAST 123.78 FEET (NORTH 89°56'40" EAST 123.75 FEET) ALONG THE SOUTH LINE OF HARVARD AVENUE FROM THE NORTHWEST CORNER OF LOT 21, BLOCK 16, MAIN STREET SUBDIVISION, (VACATED), BEING A SUBDIVISION OF LOTS 15, 16, AND 18, BLOCK 22, FIVE ACRE PLAT 'A', BIG FILED SURVEY; SAID POINT OF BEGINNING ALSO BEING NORTH 89°56'37" EAST 123.78 FEET (NORTH 89°56'40" EAST 123.75 FEET) FROM THE INTERSECTION OF THE EAST LINE OF MAJOR STREET AND THE SOUTH LINE HARVARD AVENUE; THENCE SOUTH 0°05'02" EAST 154.94 FEET (SOUTH 0°01'57" EAST 155.10 FEET); THENCE SOUTH 89°56'01" WEST 1.60 FEET (SOUTH 89°56'40" WEST 1.60 FEET); THENCE SOUTH 0°05'02" EAST 49.97 FEET (SOUTH 0°46'21" WEST 50 FEET); THENCE NORTH 89°50'07" EAST 22.24 FEET (NORTH 89°56'40" EAST 23.8 FEET); THENCE NORTH 0°05'02" WEST 49.96 FEET (NORTH 50 FEET); THENCE NORTH 89°56'06" EAST 144.40 FEET (EAST 144.375 FEET) TO THE WEST LINE OF STATE STREET; THENCE NORTH 0°04'43" WEST 154.91 FEET ALONG SAID WEST LINE (NORTH 155.1 FEET) TO THE INTERSECTION OF THE WEST LINE OF STATE STREET AND THE SOUTH LINE OF HARVARD AVENUE; THENCE SOUTH 89°56'37" WEST 165.06 FEET (SOUTH 89°56'40" WEST 165 FEET) ALONG THE SOUTH LINE OF HARVARD AVENUE TO THE POINT OF BEGINNING.

NOTE: COURSES, OR DISTANCES CONTAINED WITHIN PARENTHESES ARE RECORD COURSES, OR DISTANCES. THE ABOVE PARCEL CONTAINS: 26,681 SQUARE FEET, OR 0.612 ACRES

SYMBOLS LEGEND

REFER TO SURVEY FOR EXISTING CONDITION SYMBOLS LEGEND	
	NEW BUILDING CONSTRUCTION
	AREA OF CONCRETE
	AREA OF PAVING
	NEW CONCRETE PAVING BLOCK
	NEW LIGHT POLE LOCATION
	NEW FENCE CONSTRUCTION

PRELIMINARY - NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

CRAIG A. SCHNEIDER, AIA
ARCHITECT
1736 East Sunshine, Suite 417
Springfield, Missouri 65804
e-mail: architect@eterlyschneider.com
417-862-0588
Fax: 417-862-3265

New O'Reilly Auto Parts Store:
1122 SOUTH STATE ST
SALT LAKE CITY, UT
(SALT LAKE CITY #1)

O'Reilly AUTO PARTS

233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
417-862-2674 PHONE

COMM #	
DATE:	8-18-11
REVISION DATE:	10-4-11
	10-28-11



Justification of proposed design

New store: 1122 S. State Street

O'Reilly Auto Parts is planning to revitalize this site by constructing a new retail store. The existing closed restaurant building will be removed and the entire property will be redeveloped with a new building and landscaping per current codes.

O'Reilly Auto Parts is just a retail store. The store sells after market auto parts, auto accessories and associated products. Vehicles are not serviced at the store and tires are not sold. The store will blend well with the other retail and restaurant establishments along State Street.

The new building and site will coordinate with the adjacent neighborhood. The parking lot will be concrete and will have landscaping integrated in appropriate areas. The new building will have a flat roof with parapets to screen the HVAC units. The store will have 2 entrances, one adjacent to the parking lot to the south and one on the east on State Street that connects with the pedestrian sidewalk.

All of the design details for the site and elevations required by the Salt Lake City planning dept. have been incorporated into the proposed project.

With one exception: The elevation facing Harvard Ave. to the north will not have windows.

Due to the size of the site and the required locations of the access drives, we had to place the store on the corner. The location is perfect, but this requires a substantial amount of glass on the elevations because we are facing 2 streets.

The requirement is to have 40% of the elevation facing a street glazed. We met the requirement on the elevation facing State Street because our sales area is on that side of the building. It wasn't difficult to add the required glass on this elevation. However the side facing Harvard is the back of our store. It has fixtures for parts that are 10' high. It is not possible for us to remove these racks. Every inch of shelving in our stores is critical because we require a min. stock of parts at all times.

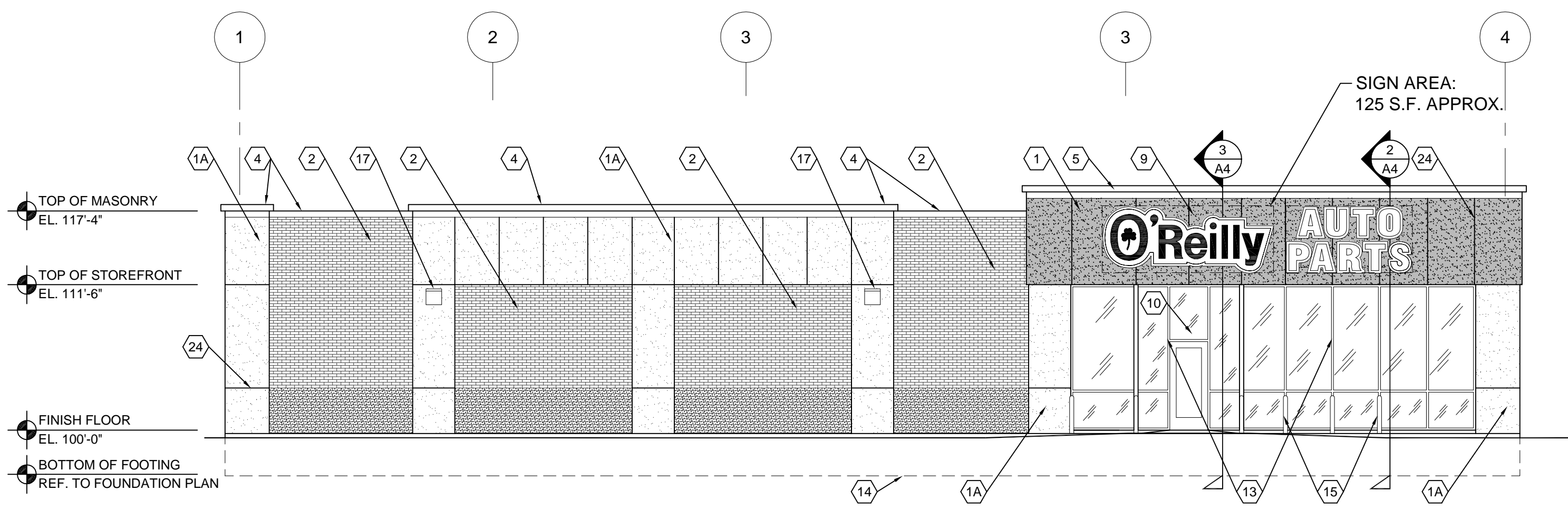
Due to the required merchandising of our store and the fact we do not require display windows, the only glass we typically have is about 30' linear feet at our main entrance door. The amount of glass we have in our proposed design for this store is over twice what we have in a typical store.

We construct new stores continually and face the requirement for additional glazing regularly. Many times we are forced to install windows with the fixtures behind it on the inside. Then the glass is either screened with opaque film or the windows are installed with spandrel glass. Or sometimes the glass is left clear with the backs of the racks visible from the exterior.

None of these solutions enhance the elevations. Sadly in these cases we don't end up with elevations that are as attractive as they could be and clearly the result is not the vision the planning dept. had intended. We understand storefront glass can be an attractive architectural feature, but when the reality is you are looking into the back of an auto parts store it is not attractive or practical.

We are happy that the Salt Lake City planning staff understands this and is working with us to develop an attractive design that isn't simply a compromise to an unrealistic requirement. We have added extra landscaping to the north side of the site and articulated the building to give the area a pedestrian scale. We have been able to provide the required glass on the busiest street, State Street. Harvard is a less traveled side street. We also highlighted the northeast part of the building to recognize the building is on a prominent corner.

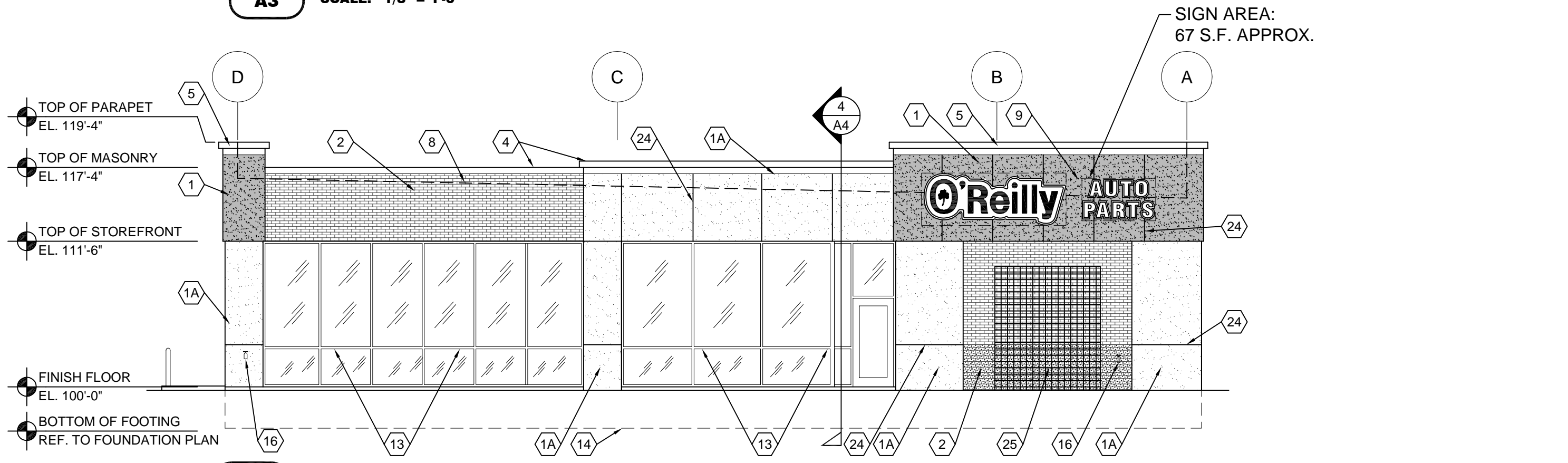
We think our proposed design to the north elevation without glass is an appropriate and attractive alternative.



1 SOUTH ELEVATION
A3 SCALE: 1/8" = 1'-0"

FACADE AREA CALCULATIONS:
TOTAL S.F. = 1903
GLASS S.F. = 416

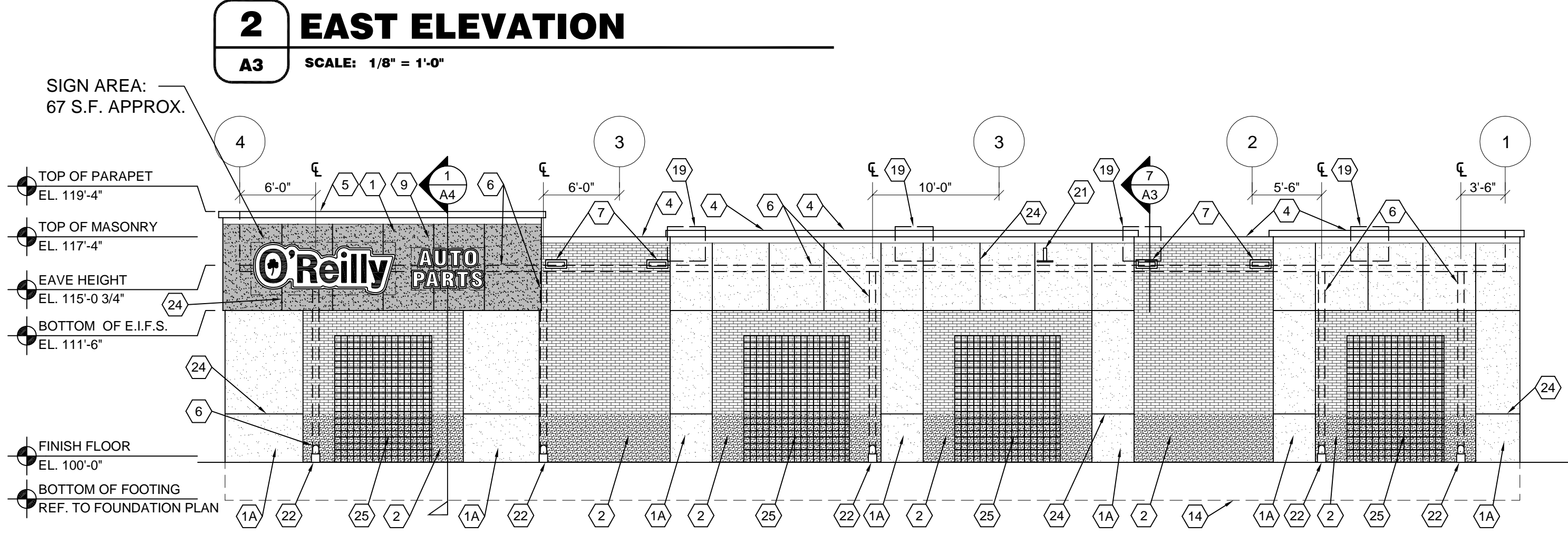
NON REQ'D WINDOWS = 21.8%



2 EAST ELEVATION
A3 SCALE: 1/8" = 1'-0"

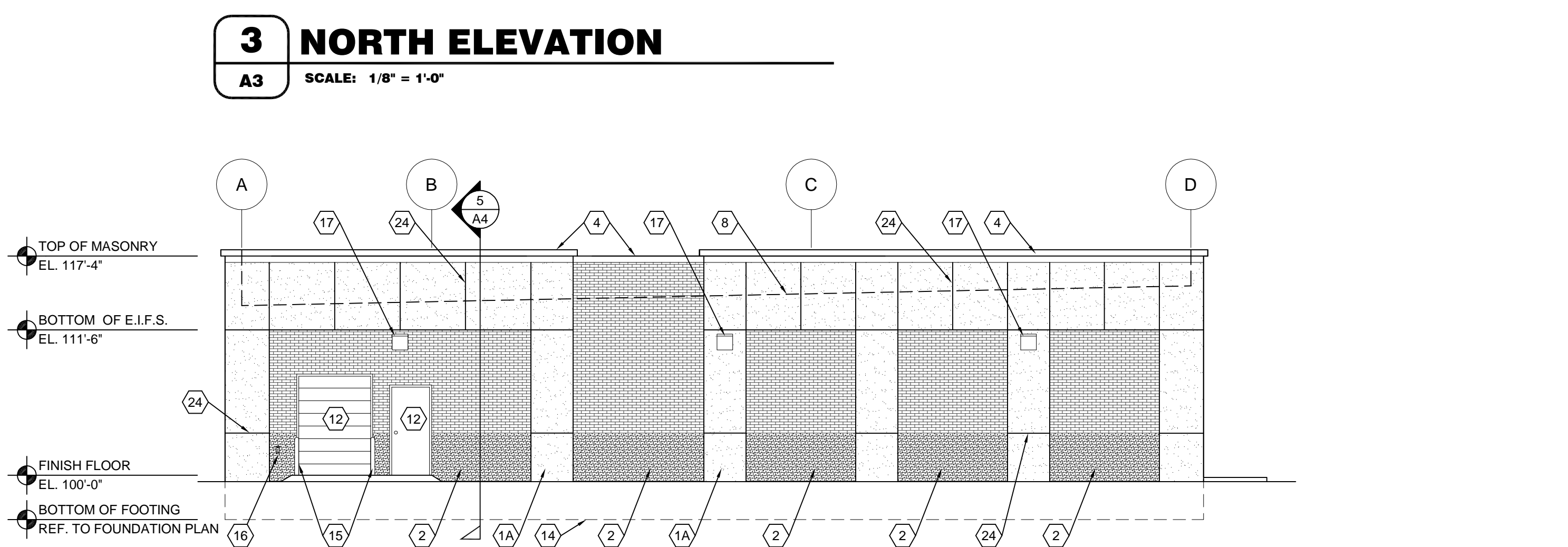
FACADE AREA CALCULATIONS:
TOTAL S.F. = 1429
GLASS S.F. = 575

REQ'D WINDOWS = 571.6 S.F. (40%)
ACTUAL WINDOWS = 575 (40.2%)

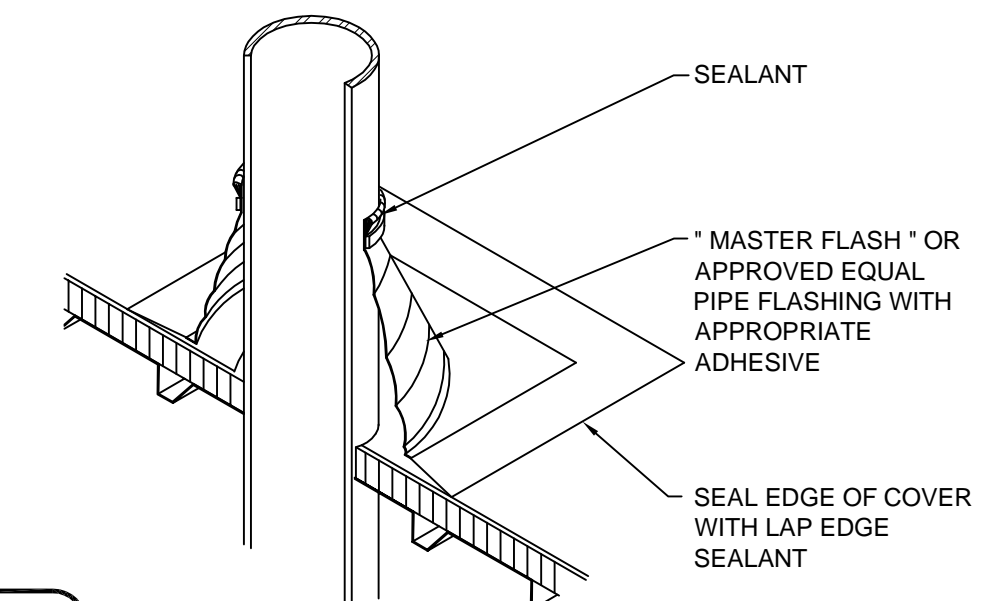


3 NORTH ELEVATION
A3 SCALE: 1/8" = 1'-0"

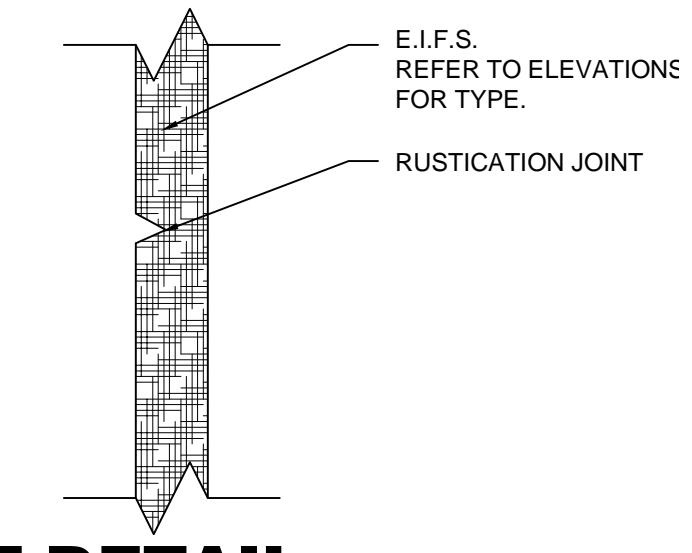
FACADE AREA CALCULATIONS:
TOTAL S.F. = 1905
REQ'D WINDOWS = 762 S.F. (40%)
ACTUAL WINDOWS = 0 (0.0%)



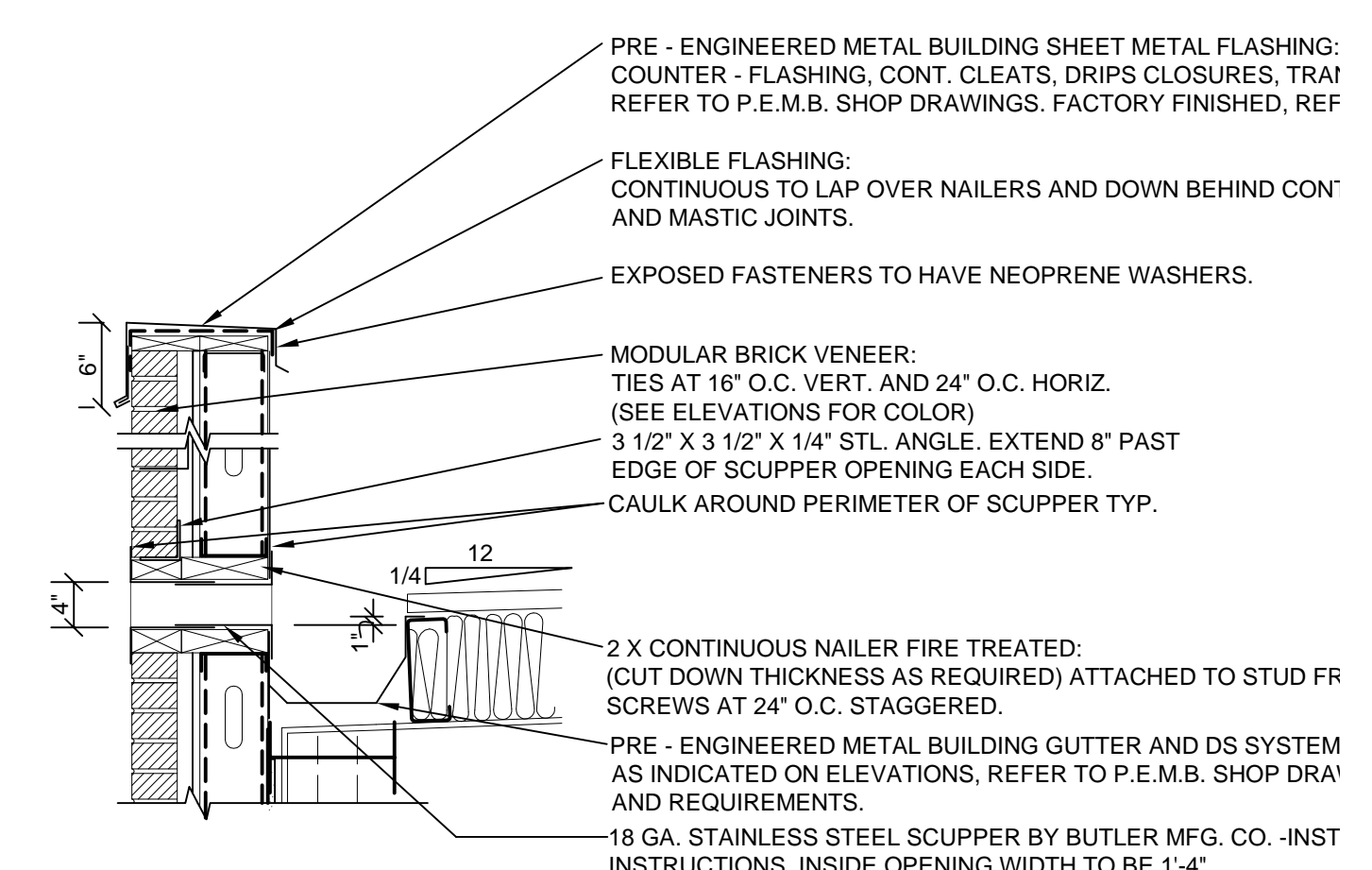
4 WEST ELEVATION
A3 SCALE: 1/8" = 1'-0"



5 VENT PIPE
A3 SCALE: N.T.S.



6 JOINT DETAIL
A3 SCALE: N.T.S.



7 FLASHING AND SCUPPER DETAIL
A3 SCALE: N.T.S.

GENERAL NOTES:

- A. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B. REFER TO COVER SHEET FOR BUILDING DESIGN CRITERIA.
- C. REFER TO PRE-ENGINEERED METAL BUILDING DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- D. REFER TO MECHANICAL / ELECTRICAL PLAN FOR SYSTEM TYPES AND LOCATIONS.
- E. REFER TO SITE DEVELOPMENT PLANS FOR ADDITIONAL REQUIREMENTS.

KEY NOTES:

- 1 EXTERIOR INSULATION AND FINISH SYSTEM (E.I.F.S.): OVER 3" RIGID INSULATION. COLOR TO BE "O'REILLY RED". REFER TO EXTERIOR FINISH SCHEDULE.
- 1A EXTERIOR INSULATION AND FINISH SYSTEM (E.I.F.S.): OVER 3/4" RIGID INSULATION. COLOR TO BE "DETERMINED". REFER TO EXTERIOR FINISH SCHEDULE.
- 2 MASONRY WALL CONSTRUCTION: REFER TO EXTERIOR FINISH SCHEDULE.
- 3 PRE-FINISHED STANDING SEAM ROOF: BY PRE-ENGINEERED METAL BUILDING COMPANY.
- 4 PRE-ENGINEERED METAL CAP FLASHING: FIELD BREAK WITH 6" FACE. COLOR SHALL BE FIELD PAINTED TO MATCH ACCENT BRICK COLOR PANEL.
- 5 PRE-ENGINEERED METAL CAP FLASHING: FIELD BREAK WITH 6" FACE. COLOR SHALL BE FIELD PAINTED CUSTOM "O'REILLY RED" TO MATCH E.I.F.S. PANEL.
- 6 PRE-ENGINEERED INTERNAL METAL GUTTER PER METAL BUILDING MANUFACTURER AND 6" PVC D.S. (BY CONTRACTOR).
- 7 18 GA. PRE-FINISHED STAINLESS STEEL SCUPPER BY BUTLER MFG. CO. - INSTALL PER MFG'R INSTRUCTIONS. INSIDE OPENING WIDTH TO BE 1'-4". REFER TO DETAIL 13/4.
- 8 LINE OF ROOF: DASHED LINE INDICATES LINE OF ROOF BEYOND WITH SLOPE OF 1/4" PER FOOT.
- 9 SIGN: APPROXIMATE OUTLINE OF "O'REILLY AUTO PARTS" SIGN. OWNER FURNISHED AND INSTALLED. PROVIDE BLOCKING AS REQUIRED FOR MOUNTING SIGN. WORK TO COORDINATED WITH OWNER.
- 10 ADDRESS NUMBERS: 6" VINYL BY CONTRACTOR. COLOR TO BE WHITE.
- 11 NOT USED.
- 12 DOOR AND FRAME: FIELD PAINT TO MATCH FIELD BRICK COLOR. (REFER TO DOOR SCHEDULE).
- 13 STOREFRONT: (REFER TO FLOOR PLAN FOR WINDOW TYPES).
- 14 LINE OF FOUNDATION: (REFER TO FOUNDATION PLAN)
- 15 STEEL BOLLARDS: (9) TYPICAL AT STOREFRONT. FIELD PAINT "O'REILLY GREEN". (REFER TO FOUNDATION PLAN).
- 16 HOSE BIB: (REFER TO PLUMBING PLAN).
- 17 LIGHT FIXTURE: (REFER TO ELECTRICAL PLAN).
- 18 NOT USED.
- 19 ROOF TOP UNIT: APPROXIMATE LOCATION (REFER TO MECHANICAL PLAN FOR EXACT LOCATION).
- 20 MECHANICAL WALL PENETRATIONS: PROVIDE FRAMING, FLASHING, AND SEALANT AS REQUIRED. (REFER TO M.E.P. SHEETS).
- 21 ROOF PIPING VENT: REFER TO DETAIL 5/A3.
- 22 DOWNSPOUT COLLECTION SYSTEM: INSTALL AT EACH DOWNSPOUT. REFER TO CIVIL PLANS.
- 23 MASONRY CONTROL/EXPANSION JOINT: (MATCH MASONRY) PROVIDE SEALANT OVER 1/2" DIAMETER FOAM BACKER ROD. (REFER TO STRUCTURAL SHEETS).
- 24 RUSTICATION JOINT: REFER TO DETAIL 6/A3.
- 25 METAL LANDSCAPE TRELLIS. ATTACH PER MANUFACTURER REQUIREMENTS.

EXTERIOR FINISH SCHEDULE		
TYPE:	COMPANY TYPE:	SPECS:
BRICK	ACME BRICK (OR APPROVED EQUAL)	BRICK COLOR: BL 30 DOVE GREY MORTAR COLOR: MATCH BRICK COLOR SIZE: MODULAR COURSING: RUNNING ACCENT BRICK COLOR: BL 600 OXFORD BROWN MORTAR COLOR: MATCH BRICK COLOR SIZE: MODULAR COURSING: RUNNING INDICATED BY SHADING ([shading])
EXTERIOR INSULATION AND FINISH SYSTEM (E.I.F.S.)	DRYVIT SANDBLAST FINISH	CUSTOM COLOR O'REILLY RED # ST184-83-01 (FACTORY MIXED ONLY) INDICATED BY SHADING ([shading]) FIELD PAINT (COLOR TO BE DETERMINED) INDICATED BY SHADING ([shading])
STOREFRONT (NO SUBSTITUTES)	EFCO KAWNEER VISTA WALL	COLOR: IVY COLOR: DARK IVY COLOR: INTERSTATE GREEN
BOLLARDS OVERHEAD DOOR	IN FIELD	O'REILLY GREEN GLIDDEN EXTERIOR SEMI-GLOSS LATEX BASE: 2407 - 500 YOK: 3P-42 TBL: 4P48 GRN: 3P14 WHT: 2P COLOR #: CUSTOM
EXTERIOR DOORS	OWNER	PRE-FINISHED
SHEET METAL CAP FLASHING AT "O'REILLY RED" E.I.F.S.	BY METAL BUILDING MFG'R.	O'REILLY RED (VERIFY MIX BELOW MATCHES E.I.F.S. COLOR) SHERWIN WILLIAMS MIX BASE--B65R338-B66V30-- GALLON FORMULA QV-45 TM-15 CLEAR COAT--DIAMOND CLAD CLEAR COAT URETHANE B65T105/B66V105/B65C105-- 3 COMPONENT
SHEET METAL CAP FLASHING	BY METAL BUILDING MFG'R.	FIELD PAINTED TO MATCH ACCENT BRICK

PRELIMINARY - NOT FOR CONSTRUCTION

CRAIG A. SCHNEIDER, AIA
 ARCHITECT
 1736 East Sunshine, Suite 417
 Springfield, Missouri 65804
 417-862-0588
 Fax: 417-862-3265
 e-mail: architect@esterlyschneider.com

O'Reilly AUTO PARTS
 233 SOUTH PATTERSON
 SPRINGFIELD, MISSOURI 65802
 417-862-2674 PHONE

COMM #
DATE: 8-18-11
REVISION DATE: 10-4-11
10-28-11



South



East



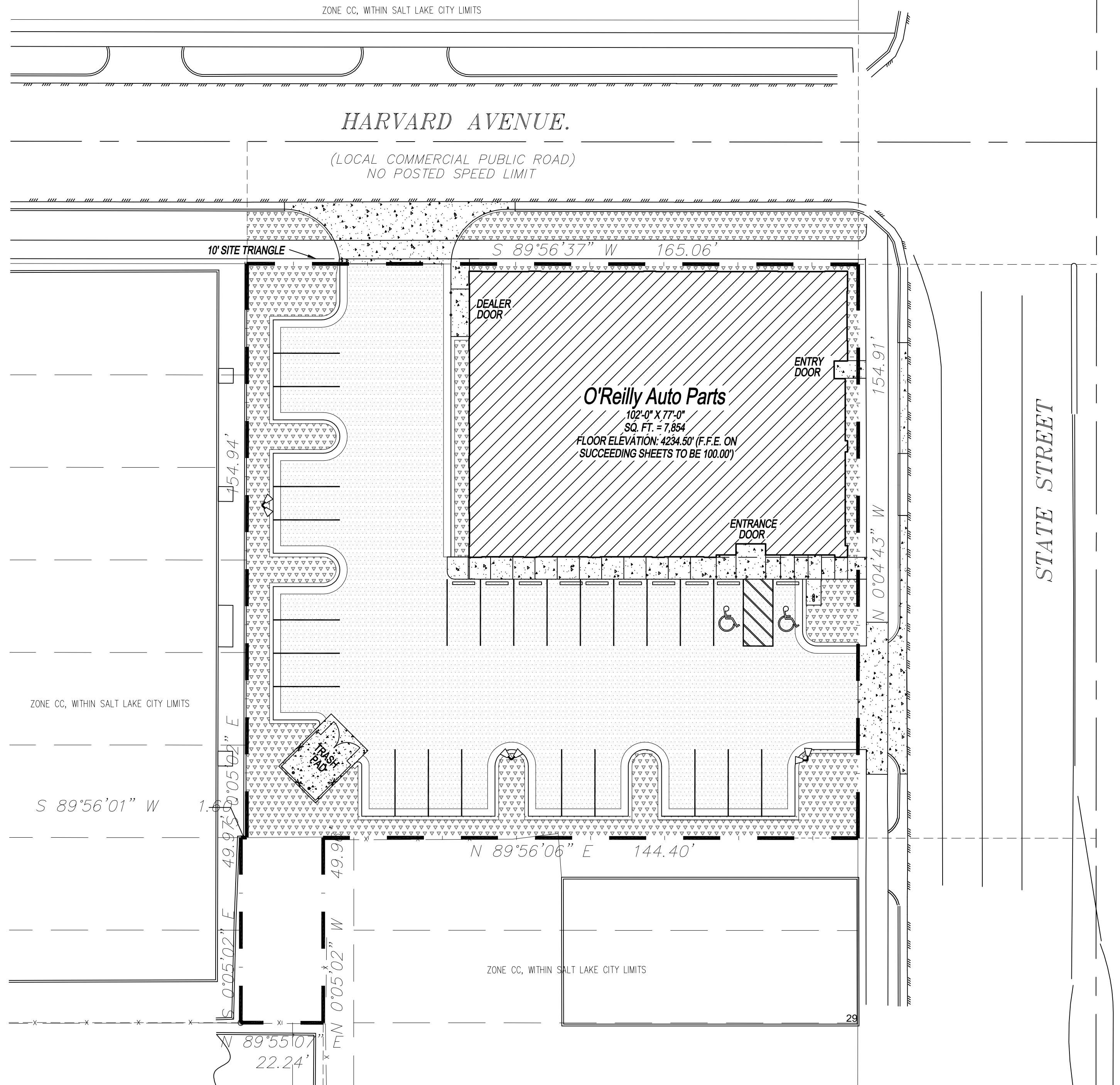
North



West



Harvard & State
Salt Lake City, UT.



1 IRRIGATION COVERAGE PLAN
L3 SCALE: 1" = 20'

GRAPHIC SCALE - FEET

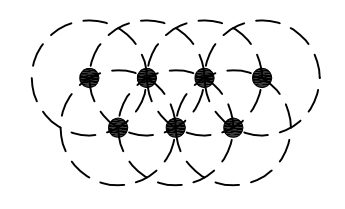
REFER TO LANDSCAPE PLANS FOR PLANTINGS

GENERAL NOTES:

- A. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.

COVERAGE DETAIL:

- 1. IRRIGATION HEAD SHALL BE PLACED TO PROVIDE 100% OVERLAP HEAD-TO-HEAD COVERAGE.



- 2. A RAIN SENSOR AND ANTI-FREEZE ASSEMBLY SHALL BE INSTALLED ON IRRIGATION SYSTEM.
- 3. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERABLE SYSTEM FOR THE IRRIGATION OF ALL LANDSCAPE PLANTING(S) AND DESIRED COVERAGE AREAS ON SITE.
- 4. THE IRRIGATION CONTRACTOR IS FULLY RESPONSIBLE FOR THE WORK UNTIL OWNER GIVES FINAL ACCEPTANCE.
- 5. NO WATER TO BE SPRAYED ON SIDEWALK, PARKING LOT, ROAD OR ADJACENT PROPERTY. ADJUST ARC AND RADIUS OF REQUIRED SPRINKLERS AS NEEDED.
- 6. ALL CIRCUIT PIPE IS TO BE CLASS 160 PVC OR HIGHER GRADE.
- 7. ALL MAIN FITTINGS SHALL BE REINFORCED WITH 2000PSI POURED CONCRETE THRUST BLOCKS.
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING THE REQUIRED SYSTEM IN COMPLETE ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND LAWS. ANY MODIFICATION MADE AFTER INSTALLATION TO CONFORM WITH SAID CODES, LAWS AND ORDINANCES SHALL BE PERFORMED AT CONTRACTORS EXPENSE AT NO ADDITIONAL COST TO O'REILLY.

LANDSCAPE SYMBOLS LEGEND

REFER TO SURVEY FOR EXISTING CONDITION SYMBOLS LEGEND

	NEW BUILDING CONSTRUCTION
	AREA OF CONCRETE
	AREA OF PAVING
	AREA OF DESIRED IRRIGATION COVERAGE
	NEW CONCRETE PAVING BLOCK
	NEW LIGHT POLE LOCATION
	NEW FENCE CONSTRUCTION

PRELIMINARY - NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

CRAIG A. SCHNEIDER, AIA
ARCHITECT

1736 East Sunshine, Suite 417
Springfield, Missouri 65804
417-862-0588
Fax: 417-862-3265
e-mail: architect@eterlyschneider.com

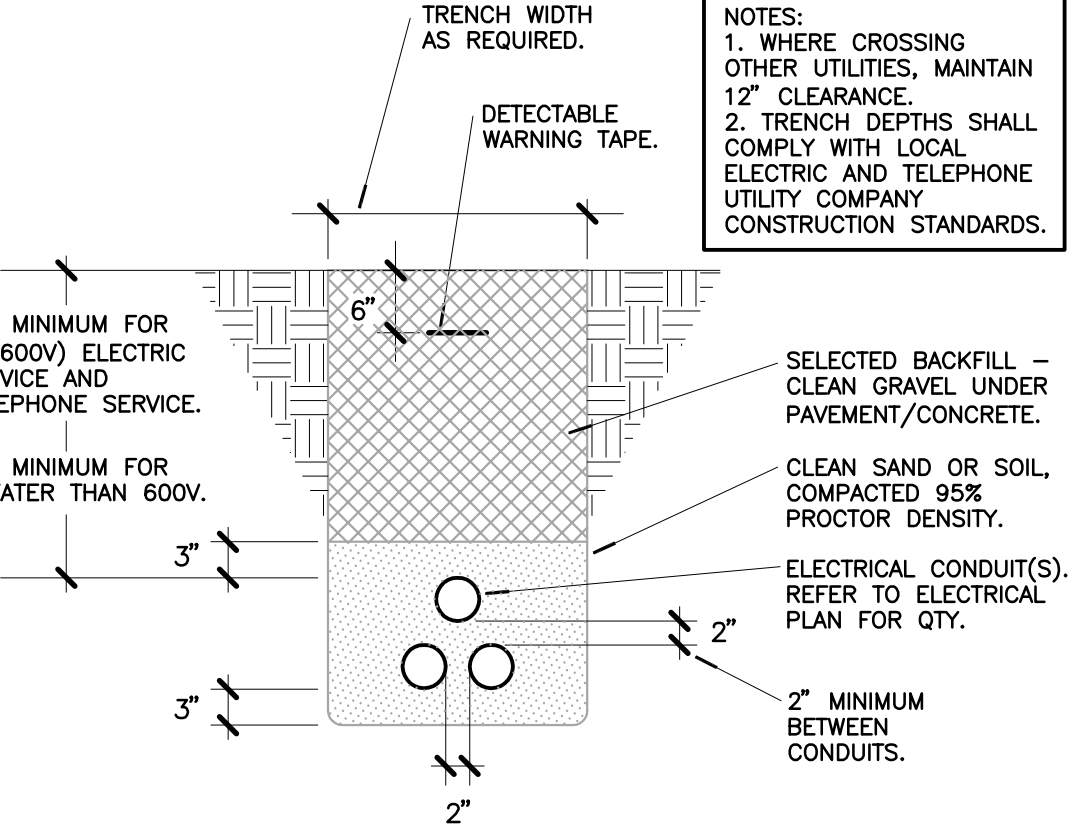
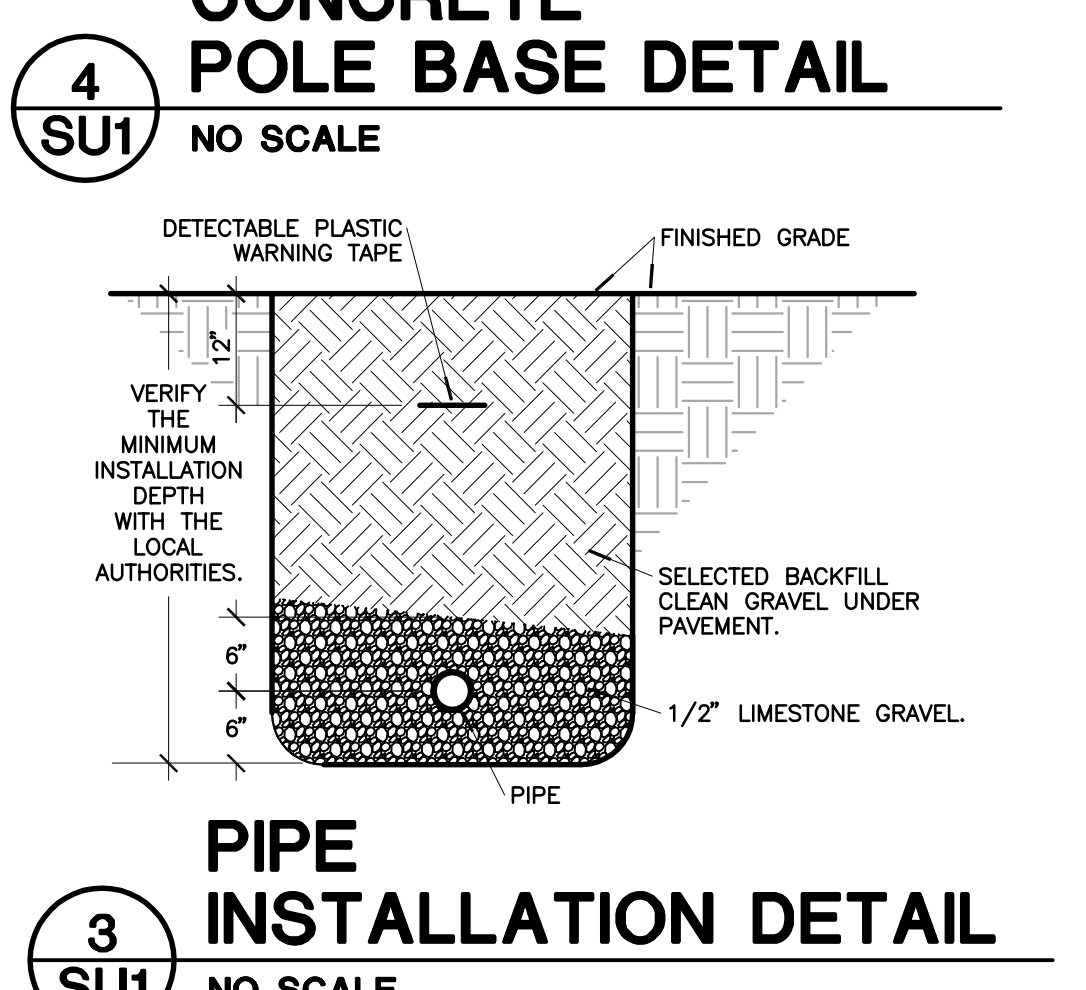
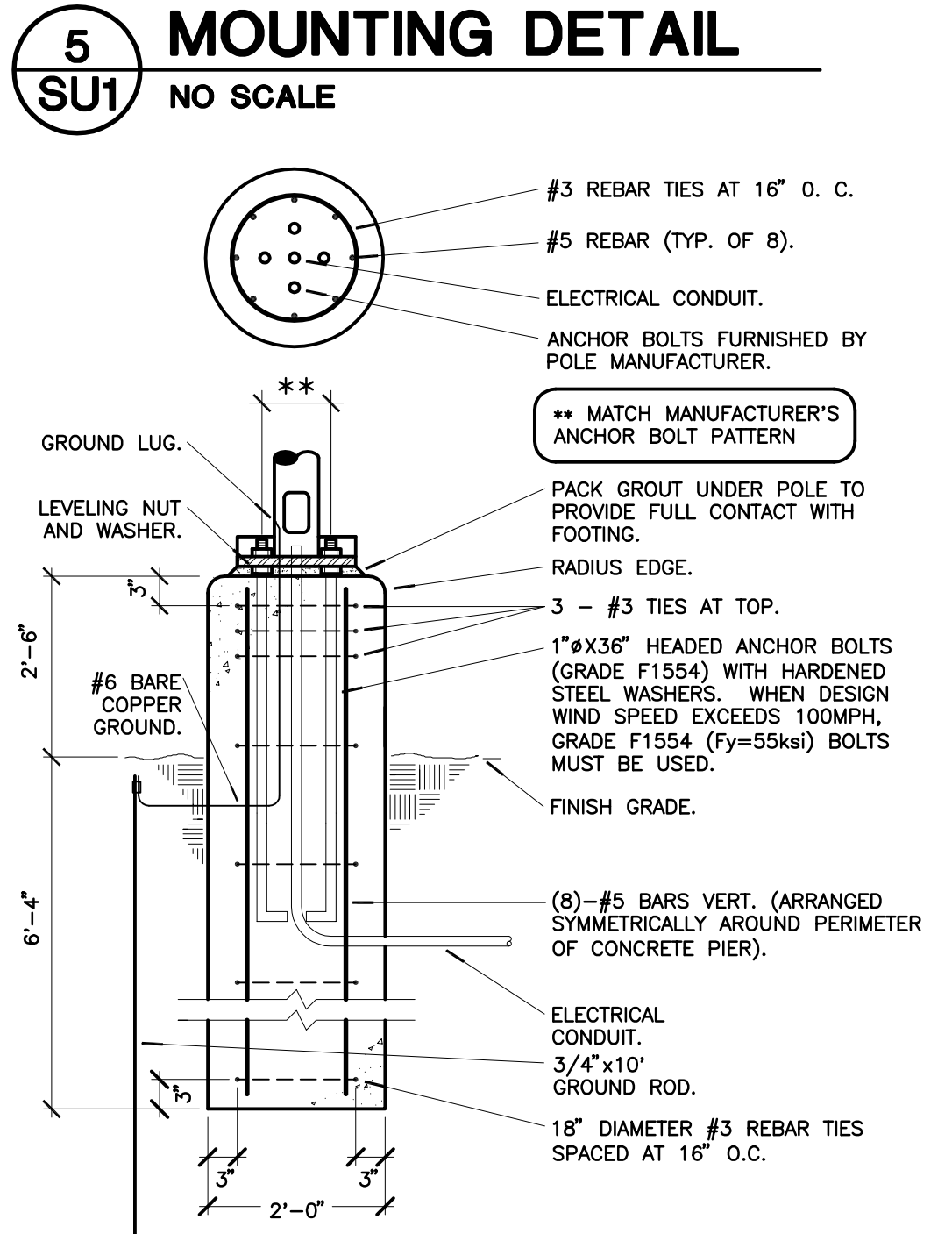
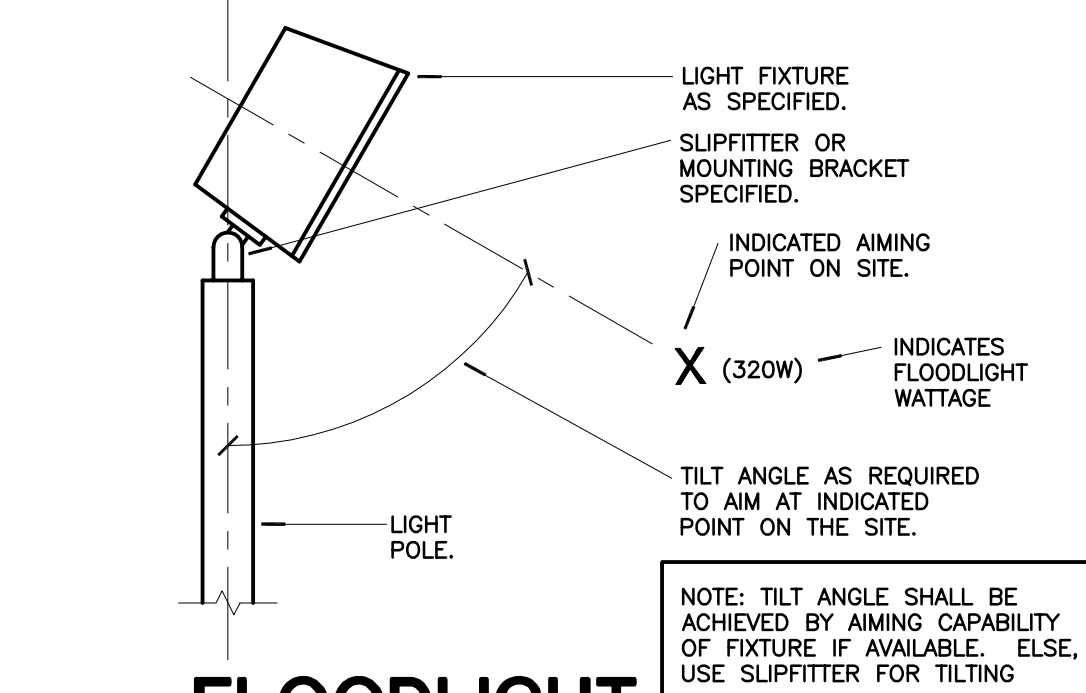
New: O'Reilly, Auto Parts, Store:

1122 SOUTH STATE ST
SALT LAKE CITY, UT
(SALT LAKE CITY #1)

O'Reilly AUTO PARTS

233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
417-862-2674 PHONE

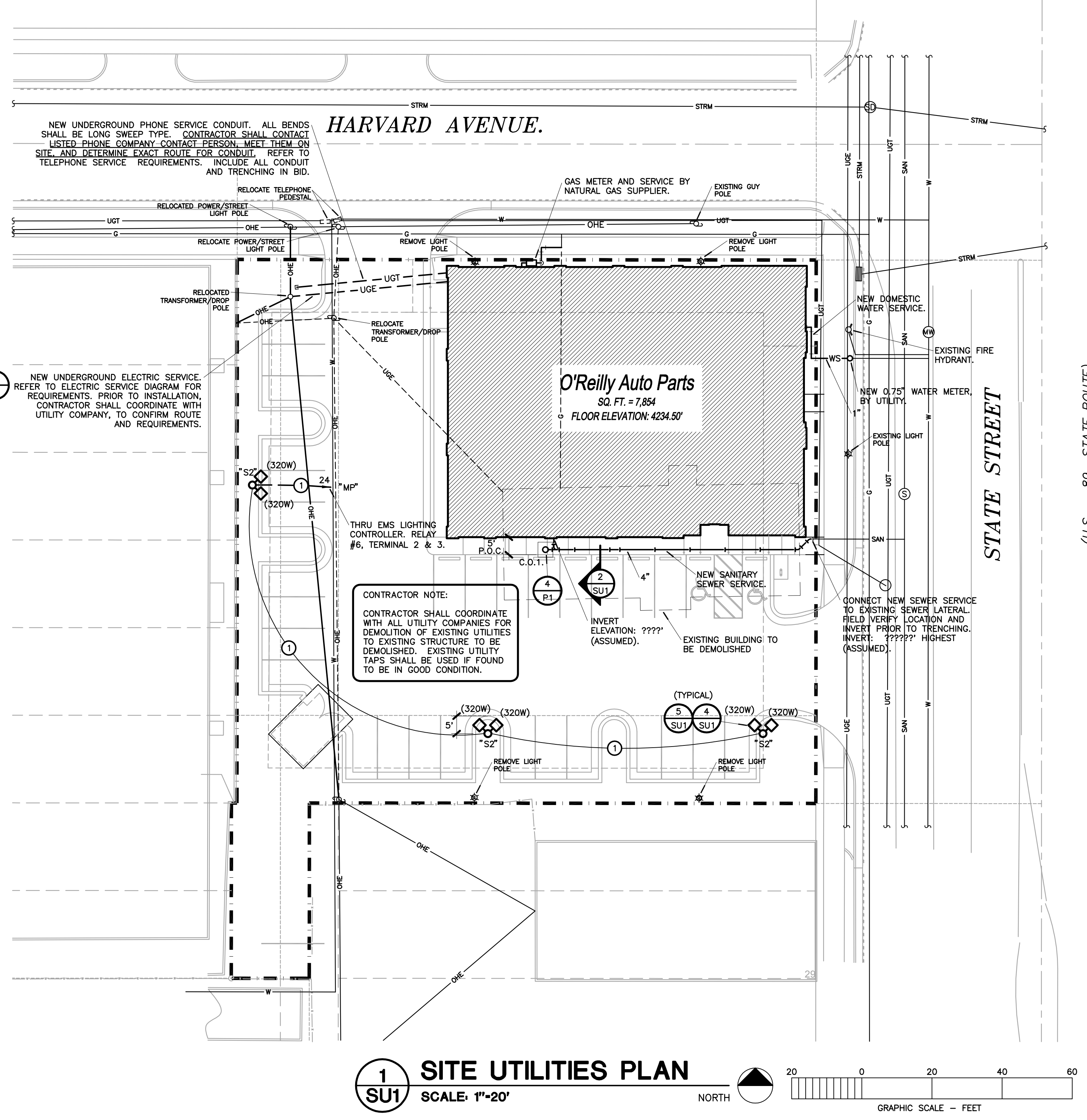
COMM #	
DATE:	8-18-11
REVISION DATE:	10-4-11
	10-28-11



UTILITY COMPANY CONTACTS	
WATER:	S/LC PUBLIC UTILITIES, PEGGY GARCIA (801) 483-6727
SEWER:	S/LC PUBLIC UTILITIES, PEGGY GARCIA (801) 483-6727
GAS:	QUESTAR GAS, BILL HINDS (801) 324-3796
ELECTRIC:	PACIFIC POWER/ROCKY MOUNTAIN POWER JOEL SIMMONS, (800) 469-3981
TELEPHONE:	QWEST, TODD STEAR (801) 974-8123
CABLE TV:	COMCAST, GARY GOLDSTEIN (801) 401-3041

NEW UTILITIES	
(SYMBOLS APPLY ONLY WHEN USED ON DRAWINGS)	
WS	WATER SERVICE
SAN	SANITARY SEWER
UGE	U/G ELECTRIC
UGT	U/G PHONE
T	U/G PHONE (BY PHONE CO.)
OHE	OVERHEAD ELECTRIC
OHT	OVERHEAD PHONE
FO	FIBER OPTIC CABLE
GS	GAS SERVICE (BY GAS CO.)
SAW CUT	SAW CUT
BORE	BORE

P.O.C. = POINT OF CONNECTION BETWEEN SITE PIPING (SPEC 33 00 00) AND BUILDING PIPING (SPEC 22 00 00, 21 13 13). AS NECESSARY - SPEC 22 00 00 DENOTES LANDSCAPE IRRIGATION.



NOTES:

BRANCH CIRCUIT & FEEDER SCHEDULE:

- 2 - #8 AND 1 - #10 GROUND IN 0.75" CONDUIT.
- 3 - #10 AND 1 - #10 GROUND IN 1" CONDUIT.

GENERAL NOTES:

- BRANCH CIRCUIT CONDUCTOR SIZES ARE INCREASED, TO ALLOW FOR VOLTAGE DROP.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES, USING UTILITY COMPANY CONTACT INFORMATION GIVEN. COORDINATE FOR ALL UTILITY WORK SHOWN. GIVE UTILITY COMPANIES NOTICE OF CONSTRUCTION START DATE AND ESTIMATED COMPLETION DATE.

TELEPHONE SERVICE REQUIREMENTS:

SPECIAL NOTE: NEW SERVICE TO BUILDING SHALL BE AN UNDERGROUND SERVICE. CONTRACTOR SHALL SCHEDULE INSTALLATION OF U/G TELEPHONE SERVICE CONDUIT WITH OWNER. CONTACT (417)874-7288.

SCHEDULE 40 PVC CONDUIT WITH RIGID GALVANIZED STEEL LONG SWEEP BENDS @ 18" - 24" DEPTH FOR PHONE SERVICE. PROVIDE MINIMUM 1/4" POLYPROPYLENE PULL LINE. PLACE CONDUIT A MINIMUM OF 12" FROM U/G ELECTRICAL CONDUITS IN SAME TRENCH.

CAP CONDUIT AT PROPERTY LINE BELOW FINISHED GRADE AND INSTALL CABLE MARKER FOR PHONE COMPANY, IF NECESSARY. OTHERWISE, CONTINUE PHONE SERVICE CONDUIT TO A POLE AND INSTALL RIGID GALVANIZED STEEL CONDUIT TO A MINIMUM 10' ABOVE FINISH GRADE, ATTACHED TO POLE.

CONTRACTOR SHALL COORDINATE INSTALLATION AND VERIFY REQUIREMENTS WITH PHONE COMPANY. PLUS INCLUDE ALL FEES (IF ANY) BY PHONE COMPANY FOR INSTALLATION OF MINIMUM 10 PAIR CABLE, IN MENTIONED CONDUIT, TO CONTRACTOR INSTALLED 4"x8"x3/4" BACKBOARD WITHIN BUILDING. CONTRACTOR SHALL PROVIDE #6 AWG CU. GROUND TO TELEPHONE EQUIPMENT LOCATION, FROM ELECTRICAL GROUNDING ELECTRODE SYSTEM. FINAL CONNECTIONS AND INSIDE PHONE WIRING BY OWNER.

ONLY IF UNDERGROUND PHONE SERVICE IS NOT AVAILABLE, THEN MAY CONTRACTOR INSTALL APPROPRIATE OVERHEAD PHONE SERVICE RISER, WEATHERHEAD, ETC. COORDINATE WITH OWNER AND PHONE CO.

SAWCUT NOTE:

WHERE NEW UTILITY SERVICES ARE ROUTED UNDER EXISTING PAVED AREAS, ALL EXISTING PAVING SHALL BE REMOVED IN THE FOLLOWING STEPS:

- SAWCUTTING PAVING.
- REMOVAL AND TRENCHING.
- INSTALLATION OF UTILITY.
- BACKFILL AND COMPACTION.
- INSTALLATION OF NEW PAVING THAT MATCHES THE EXISTING SURROUNDING PAVING IN BOTH MATERIAL AND ELEVATION.

CONTRACTOR SHALL COORDINATE, OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND LICENSES TO PERFORM THIS WORK AND SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL WHILE PERFORMING SAWCUTTING OPERATIONS AS NECESSARY.

CONTRACTOR CAUTION!! VERIFY SEWER LINE ELEVATION

BEFORE STARTING ANY BUILDING PAD GRADING AND PLUMBING WORK THE CONTRACTOR SHALL FIELD VERIFY LOCATION, MATERIAL, CONDITION, ACCESSIBILITY (INCLUDING STATE HIGHWAY OR OTHER RIGHTS-OF-WAY) AND WORKABLE FLOW LINE ELEVATION OF THE EXISTING SANITARY SEWER SERVICE LINE OR MAIN.

IF A WORKABLE FLOW LINE HAS NOT BEEN ESTABLISHED AT THE TIME OF FINAL SANITARY SEWER SERVICE CONNECTION, THEN THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXPENSES ASSOCIATED WITH THE INSTALLATION OF A NEW GRINDER PUMP SYSTEM TO MEET OWNER AND LOCAL REQUIREMENTS.

EXISTING CONDITIONS NOTES:

- THE CONTRACTOR IS OBLIGATED TO INSPECT FOR EXISTING CONDITIONS/INSTALLATIONS AND AVAILABLE INFORMATION PRIOR TO SUBMITTING A BID, REFER TO SPECIFICATIONS ALSO.
- EXISTING INSTALLATIONS (SUCH AS WATER MAINS/LINES, GAS MAINS/LINES, SEWER MAINS/LINES, TELEPHONE LINES, POWER LINES, AND UTILITY STRUCTURES IN THE VICINITY OF THE WORK TO BE DONE) ARE INDICATED ON THE DRAWINGS ONLY TO THE EXTENT THAT SUCH INFORMATION HAS BEEN MADE AVAILABLE TO OR DISCOVERED BY THE ENGINEER IN PREPARING THE DRAWINGS. THERE IS NO GUARANTEE AS TO THE ACCURACY OR COMPLETENESS OF SUCH INFORMATION, AND ALL RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS THEREOF IS EXPRESSLY DISCLAIMED.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATING ALL EXISTING INSTALLATIONS.
- ANY DELAY, ADDITIONAL WORK, FEES OR EXTRA COST TO THE CONTRACTOR CAUSED BY OR RESULTING FROM DAMAGE TO OR MODIFICATION OF EXISTING INSTALLATIONS BY THE CONTRACTOR OR AFFECTED UTILITY COMPANY SHALL NOT CONSTITUTE A CLAIM FOR EXTRA WORK, ADDITIONAL PAYMENT OR DAMAGES.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONSTRUCTION PRIOR TO SUBMITTING HIS BID. NO EXTRAS WILL BE PAID DUE TO UNANTICIPATED EXISTING CONDITIONS/INSTALLATIONS.

CRAIG A. SCHNEIDER, AIA
ARCHITECT

1730 East Sunshine, Suite 417
Springfield, Missouri 65804
e-mail: architect@estertyschneider.com

417-862-0558
Fax: 417-862-3265

O'Reilly AUTO PARTS

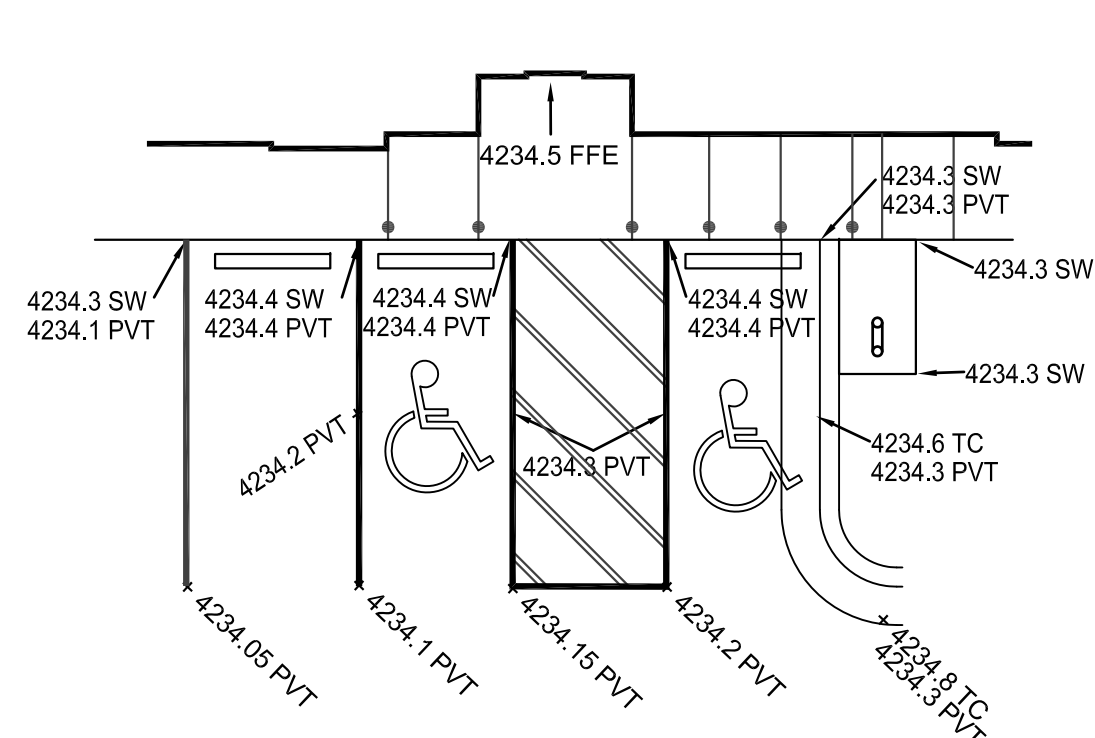
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
417-862-2674 PHONE

COMM # ????

DATE: ?-?-11

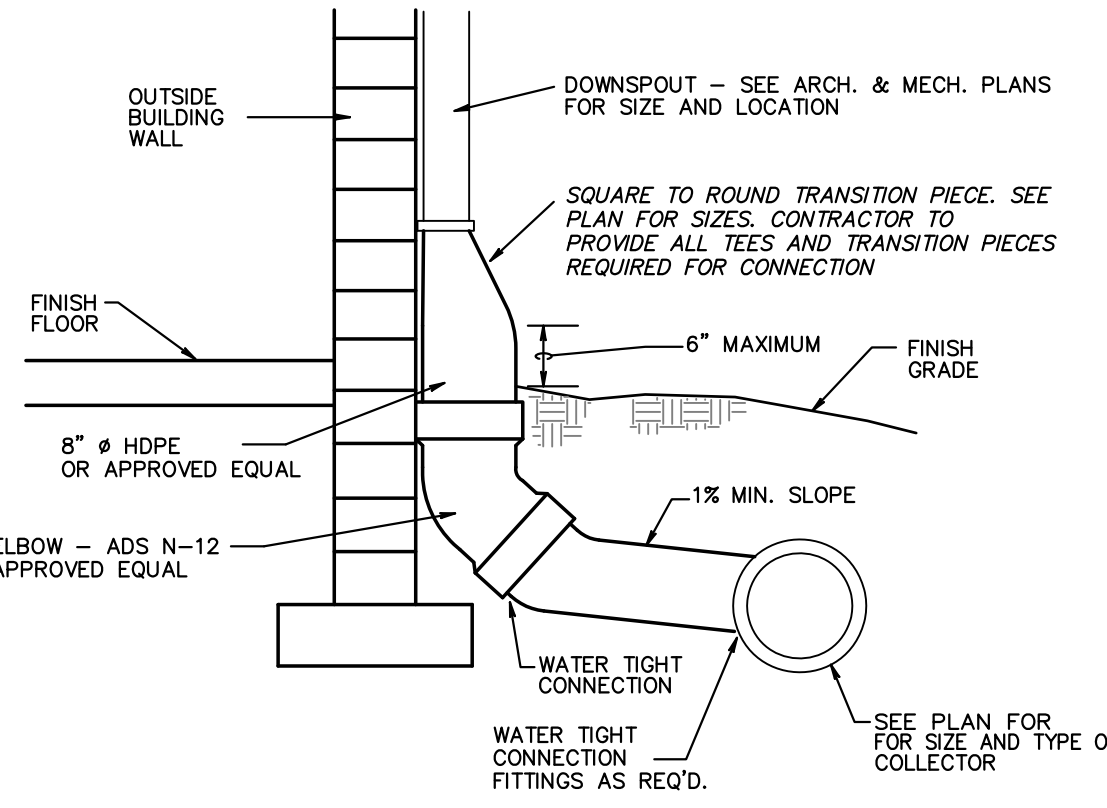
REVISION DATE:

SSU1 of 2



HANDICAP AREA TO BE ADA COMPLIANT.
SLOPES SHALL NOT EXCEED 2.0% IN ANY DIRECTION IN THIS AREA.

2 HANDICAP PARKING DETAIL
C1 SCALE: 1" = 10'



3 DOWNSPOUT COLLECTOR
C1

EROSION CONTROL & MAINTENANCE PLAN NOTES:

1. RETAIN FLOATABLE WIND BLOWN MATERIALS ON SITE BY STORING ALL TRASH AND BUILDING MATERIAL WASTE IN ENCLOSURES UNTIL PROPER DISPOSAL AT OFF-SITE FACILITIES. CHECK ADJACENT AREAS DAILY AND PICK UP CONSTRUCTION WASTE MATERIALS AND DEBRIS THAT HAVE BLOWN OR WASHED OFF SITE.
2. PERMANENTLY STABILIZE ALL SURFACE AREA WITHIN AND ADJACENT TO THIS SITE THAT IS DISTURBED BY VEHICLES, GRADING AND OTHER CONSTRUCTION FOR THE PROPOSED FACILITY. STABILIZATION IS OBTAINED WHEN THE DISTURBED SURFACE IS COVERED WITH STRUCTURES, PAVING AND OR PERENNIAL VEGETATION HAVING A UNIFORM COVERAGE DENSITY OF AT LEAST 70%. STABILIZATION OF ALL DISTURBED AREA IS REQUIRED BEFORE TERMINATING MAINTENANCE AND REMOVAL OF EROSION CONTROL MEASURES.
3. CONTRACTORS SHALL INSPECT POLLUTION CONTROL MEASURES AT LEAST ONCE EVERY 14 DAYS AND WITHIN 24 HOURS AFTER A STORM EVENT OF 1/2 INCH OR GREATER. DAMAGED MEASURES THAT PROVE TO BE INEFFECTIVE SHALL BE REPLACED WITH MORE EFFECTIVE MEASURES OR ADDITIONAL MEASURES WITHIN SEVEN DAYS. REPEATED FAILURE OF A CONTROL MEASURE REQUIRES INSTALLATION OF A MORE SUITABLE DEVICE TO PREVENT DISCHARGE OF POLLUTANTS FROM THE CONSTRUCTION SITE.
4. INSTALLATION OF ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY THE CITY OR STATE. CONTRACTOR TO VERIFY REQUIREMENTS PRIOR TO BEGINNING ANY WORK ON PROJECT SITE.
5. CARE SHALL BE TAKEN TO MINIMIZE THE ENCRoACHMENT OF SEDIMENT INTO ALL STORM DRAIN APPURTENANCES, PUBLIC STREETS, AND ONTO PRIVATE PROPERTY UNTIL IMPERVIOUS MATERIAL (ROAD/PARKING AREA SURFACE) IS APPLIED OR UNTIL PROPOSED LANDSCAPE HAS BEEN ESTABLISHED.
6. REFER TO 10/C3 FOR SILT FENCE CONSTRUCTION.
7. ALL GRASS SLOPES WHICH EXCEED 4:1 (H:V) SHALL UTILIZE CONTECH CONSTRUCTION PRODUCTS PERMANENT TURF REINFORCEMENT MATS TRM 450 OR APPROVED EQUAL. MATS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND STANDARDS. CONTRACTOR SHALL COORDINATE INSTALLATION INSPECTION WITH MANUFACTURER.

GENERAL NOTES:

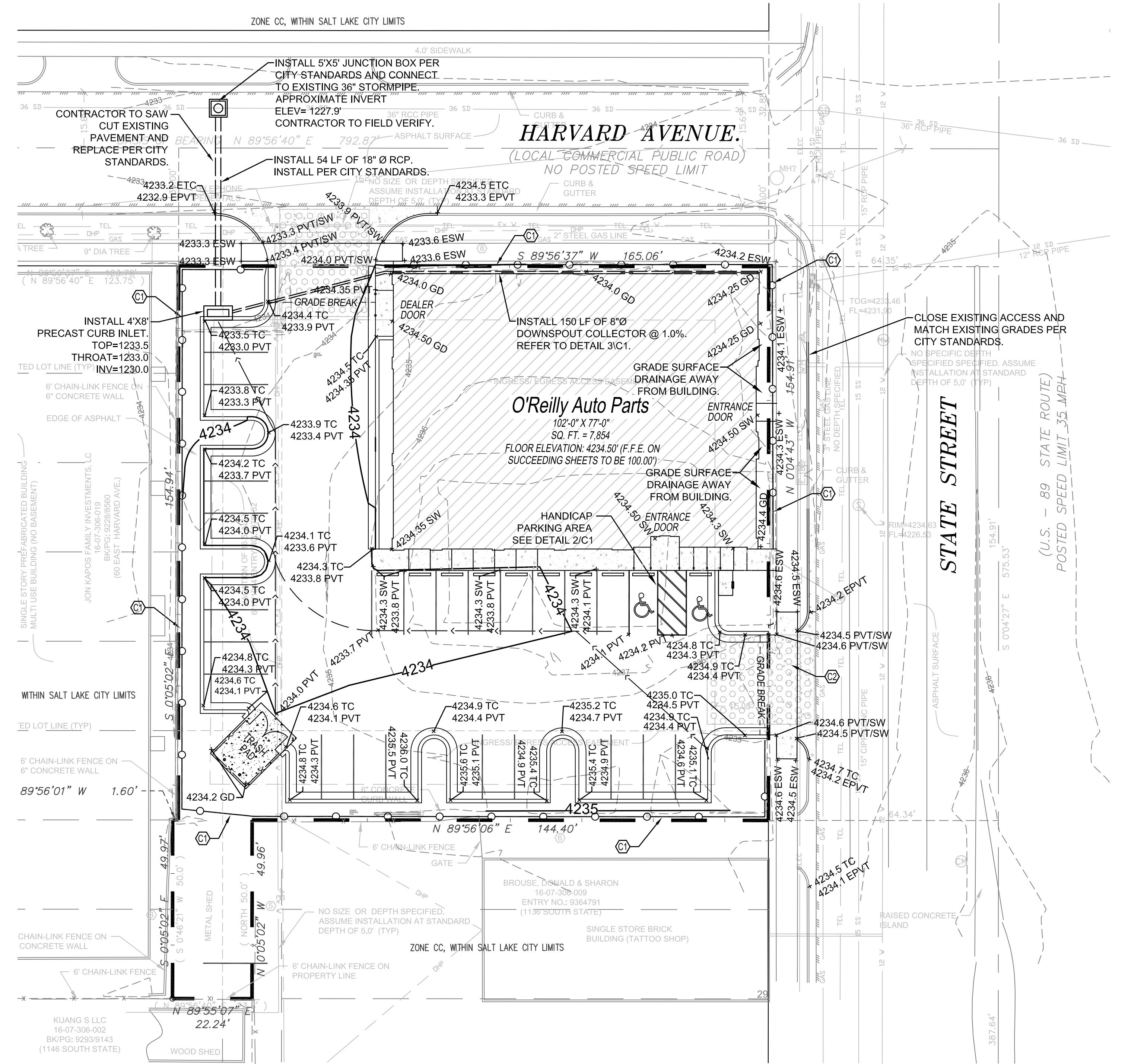
- A. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B. SITE CONDITIONS BASED UPON SURVEY SUBMITTED BY OWNER. FIELD VERIFY EXISTING CONDITIONS BY DETAILED SITE I INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION.
- C. FIELD VERIFY SANITARY SEWER SERVICE CONNECTION INVERT PRIOR TO ESTABLISHING FINAL FINISH FLOOR ELEVATION.
- D. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.

STAGES OF CONSTRUCTION:

1. CONTRACTOR TO PERFORM DETAILED SITE INSPECTION TO LOCATE ALL EXISTING UTILITIES AND VERIFY ANY POSSIBLE CONFLICTS WITH PROPOSED IMPROVEMENTS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTACT OWNER WITH ANY CONFLICTS. MONTH 1
2. INSTALLATION OF CONSTRUCTION ENTRANCE. MONTH 1
3. INSTALLATION OF EROSION CONTROL FENCE. MONTH 1
4. DEMOLITION OF EXISTING SITE IMPROVEMENTS. MONTH 1
5. REMOVAL OF EXISTING PAVEMENT ON THE SITE. MONTH 1
6. INSTALLATION OF ALL STORMWATER DRAINAGE IMPROVEMENTS. MONTH 1
7. ROUGH GRADING. MONTH 1 & MONTH 2
8. CONSTRUCTION OF NEW SITE IMPROVEMENTS. MONTH 2
9. FINAL GRADING. MONTH 3
10. PLACEMENT OF FINAL LANDSCAPING ITEMS AND SOD. MONTH 3
11. REMOVAL OF EROSION CONTROL FENCE. MONTH 3

ANDERSON A/E ENGINEERING, INC.
ENGINEERS • SURVEYORS • LABORATORIES • DRILLING
2045 W. WOODLAND • SPRINGFIELD, MISSOURI 65807 • PHONE (417) 866-2741
ANDERSON ENGINEERING, INC. COAF 7158518143 • PAUL J. ENGEL PE#149764-2202

PROJ # 10189-11
BY: WAS
C/C/P/J/E
DRAWING # WB-109-136



STORMWATER RUNOFF SUMMARY:

TOTAL PROPERTY AREA = 0.61 ACRES
TOTAL DISTURBED AREA = 0.65 ACRES < 1.0 ACRES THEREFORE NOI IS NOT REQUIRED

EXISTING CONDITIONS	POST-DEVELOPMENT
TOTAL DRAINAGE AREA = 0.61 ACRES	TOTAL DRAINAGE AREA = 0.61 ACRES
EXISTING BUILDING & PARKING LOT	NEW BUILDING & PARKING LOT
TOTAL IMPERVIOUS AREA = 0.57 ACRES (C=0.98)	TOTAL IMPERVIOUS AREA = 0.50 ACRES (C=0.98)
EXISTING POOR CONDITION GRASS	NEW GOOD CONDITION GRASS
TOTAL PERVIOUS AREA = 0.04 ACRES (C=0.30)	TOTAL PERVIOUS AREA = 0.11 ACRES (C=0.30)
COMPOSITE RUNOFF COEFFICIENT, C = 0.94	COMPOSITE RUNOFF COEFFICIENT, C = 0.86

PROPOSED O'REILLY DEVELOPMENT IS DECREASING ON-SITE IMPERVIOUS AREA AND STORMWATER RUNOFF. THEREFORE, ON-SITE DETENTION IS NOT REQUIRED.

KEY NOTES:

- (1) LIMITS OF TEMPORARY SILT SOXX. REFER TO DETAIL 10/C3.
- (2) INSTALL TEMPORARY CONSTRUCTION EGRESS. REFER TO NOTES.

SITE EXCAVATION REQUIREMENTS:

1. A GEOTECHNICAL ANALYSIS HAS BEEN PERFORMED ON THIS SITE. REFER TO PROJECT MANUAL.
2. FOLLOW GEOTECHNICAL ANALYSIS RECOMMENDATION FOR SITE EXCAVATION.
3. REFER TO STRUCTURAL DRAWINGS FOR BUILDING EXCAVATION REQUIREMENTS.

SPECIAL NOTE:
CONTRACTOR TO RESTORE ALL DAMAGED ROW WITHIN 48 HOURS OF COMPLETION OF CONSTRUCTION IN THE ROW.

SPECIAL NOTE:
CONTRACTOR SHALL FIELD VERIFY PROPOSED GRADES MATCH EXISTING PAVEMENT AT DRIVEWAY ENTRANCES. CONTRACTOR SHALL NOTIFY ENGINEER IF DISCREPANCY OCCURS.

SPECIAL NOTE:
FIELD VERIFY SANITARY SEWER CONNECTION INVERT PRIOR TO ESTABLISHING FINAL FINISH FLOOR ELEVATION. REFER TO SITE UTILITIES PLAN.

INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.

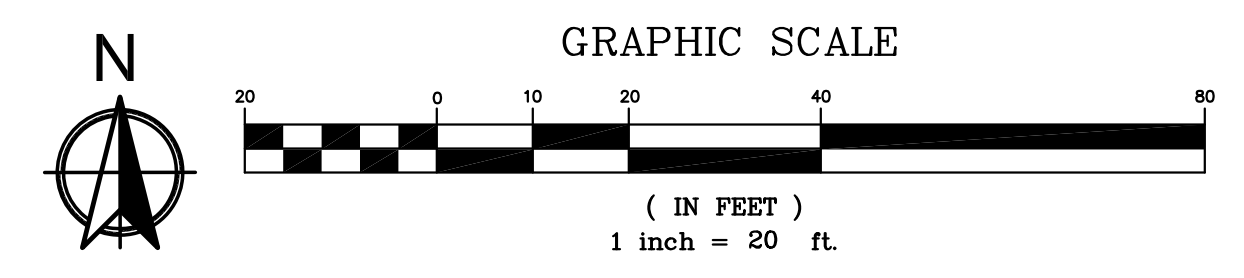
CONSTRUCTION EGRESS NOTES:

1. CONSTRUCTION EGRESS SHALL BE 25' MINIMUM WIDTH AND 30' MINIMUM LENGTH AND 6" MIN THICKNESS OF STONE (1.5"-3.5") COARSE AGGREGATE WITH GEOTEXTILE UNDERLINER. REFER TO THE CITY OR STATE FOR ANY ADDITIONAL REQUIREMENTS.
2. THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 1.5-3.5 INCH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT OF ANY STRUCTURE USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES OR SITE ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
3. WHEELS MUST BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN LOCATED PER THE CITY OR STATE REQUIREMENTS.

PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION

SYMBOLS LEGEND			
REFER TO SURVEY (SV1) FOR EXISTING CONDITION SYMBOLS LEGEND AND SITE CONTROL.			
---4235---	EXISTING GRADE LINES	NEW SPOT ELEVATIONS LIST	GRADE NONE
---4235---	PROPOSED NEW GRADE LINES		SIDEWALK SW
[Hatched Box]	NEW BUILDING CONSTRUCTION		TOP OF WALL TW
[Circle]	NEW POLE SIGN LOCATION		TOP OF CURB TC
[Rectangle]	PAVING BLOCK NEW CONCRETE		TOP OF PAVEMENT PVT
[Arrow]	SURFACE FLOW ARROW		NEW GRADE GD
[Line]	DRAINAGE SWALE		CONCRETE CONC
			EXISTING TOP OF CURB/ETC
			EXISTING GRADE EGD
			EXISTING PAVEMENT EPVT
		EXISTING SIDEWALK ESW	
		FLOW LINE FL	
		TOP OF BERM TOP	
		TEMPORARY BENCHMARK:	
		A 1" BRASS DISK SET FLUSH WITH THE CURB AT THE NORTHEAST CORNER OF STATE STREET AND 1300 SOUTH (HAMPTON AVENUE) APPROXIMATELY 30.0' NORTH & 55.0' EAST OF THE CENTERLINE INTERSECTION.	
		ELEVATION = 4235.565	

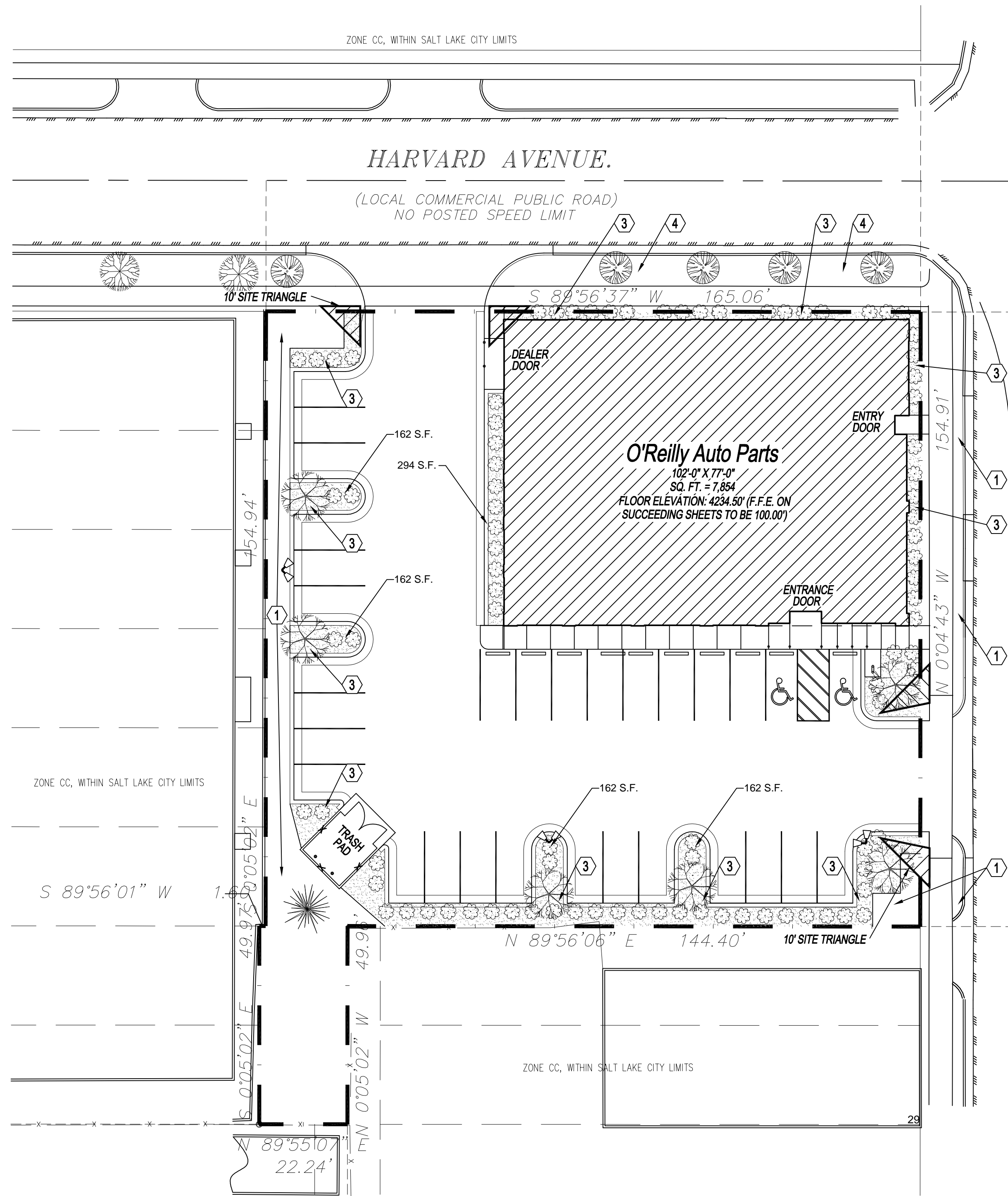
1 SITE GRADING PLAN
C1 SCALE: 1" = 20'



Craig A. Schneider, AIA
ARCHITECT
1736 East Sunshine, Suite 417
Springfield, Missouri 65804
e-mail: architect@estetyschneider.com
417.862.0558
Fax: 417.862.3265

O'Reilly AUTO PARTS
Corporate Office:
233 South Patterson, Springfield, Mo 65802
Phone: (417) 862-3333 FAX: (417) 874-7112

DATE:	08-11-11
REVISION DATE:	10-4-11
	10-28-11



SITE DATA TABLE:

PROPOSED ZONING: CC
OVERLAY ZONE: SSSC

APPLICANT: O'REILLY AUTOMOTIVE STORES INC.
SPRINGFIELD, MO. 65802
TEL. 417-862-2674
FAX. 417-874-7112

PROPERTY ADDRESS:
1122 SOUTH STATE ST
SALT LAKE CITY, UT

LOT SIZE: 26,681 S.F. / ± 0.61 ACRES
PROPOSED USE: RETAIL

TOTAL FLOOR AREA: 7,854 S.F.
BUILDING COVERAGE: 29.40%
IMPERVIOUS SURFACE: 21,506 S.F. (81%)

PROPOSED BUILDING HEIGHT: 19'-4"

PARKING ANALYSIS:
SPACES REQUIRED: 16
SPACES PROVIDED: 31
H.C. SPACES REQUIRED: 2
H.C. SPACES PROVIDED: 2

VEHICLE USAGE AREA: 12,702 S.F.
INTERIOR PARKING LANDSCAPE: 943.5 S.F. (7.4%)

REQUIRED BICYCLE PARKING: 2 (5% OF REQUIRED VEHICLE PARKING)

GENERAL NOTES:

- A. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B. SITE CONDITIONS BASED UPON SURVEY PROVIDED BY OWNER. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION.
- C. REFER TO CIVIL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- D. ALL PLANTING TYPES SHALL COMPLY WITH LOCAL GOVERNING CODES AND REGULATIONS. CONFORM TO REQUIREMENTS OF PLANT LIST AND TO THE AMERICAN ASSOCIATION OF NURSERYMEN "AMERICAN STANDARD OF NURSERY STOCK" AND "HORTICULTURAL STANDARDS" AS TO SPECIES, AGE, SIZE, AND PLANTING RECOMMENDATIONS.
- E. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE ARCHITECT'S PRIOR WRITTEN APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED.
- F. PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS.
- G. QUANTITIES OF MATERIALS SHOWN ON LANDSCAPING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON PLANTING SCHEDULE. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES ON LANDSCAPING PLAN.
- H. PROVIDE 4" TOPSOIL AT ALL SOD, SEED AND PLANTING AREAS. GRADE SHALL BE ADJUSTED FOR SOD THICKNESS. REFER TO CIVIL SITE GRADING PLAN FOR SLOPE REQUIREMENTS.
- I. WHEN CLAY SOIL IS ENCOUNTERED IN THE ESTABLISHMENT OF THE LAWN OR THE INSTALLATION OF PLANT MATERIAL IT SHALL BE IMPROVED IN ACCORDANCE WITH STANDARD TRADE PRACTICE.
- J. REESTABLISH TURF IN AREAS DISTURBED BY GRADING OR UTILITY TRENCHING IN THE RIGHT-OF-WAY.
- K. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.

KEY NOTES:

- 1 HYDRO MULCH / SEED AND STRAW: (UNLESS NOTED OTHERWISE) ALL AREAS DISTURBED BY CONSTRUCTION ARE FIRST TO BE FINE GRADED AND THEN FOLLOWED BY HYDRO MULCH OR SEED AND STRAW OVER MIN. 4" TOPSOIL STOCKPILED FROM SITE OR HAULED IN AS REQUIRED.
- 2 NOT USED
- 3 SHREDDED CYPRESS MULCH: REFER TO DETAIL 2/L2.
- 4 AFTER WORK IN RIGHT OF WAY IS COMPLETE, AREAS AFFECTED BY DEMOLITION TO BE RE-ESTABLISHED TO MATCH EXISTING.

LANDSCAPE SYMBOLS LEGEND

REFER TO SURVEY FOR EXISTING CONDITION SYMBOLS LEGEND

	NEW BUILDING CONSTRUCTION
	AREA OF CONCRETE
	AREA OF PAVING
	AREA OF SHREDDED CYPRESS MULCH (COLOR TO BE APPROVED BY O'REILLY REPRESENTATIVE)
	AREA OF SOD LAWN AREA WHICH EXCEEDS 25% SLOPE TO BE PROVIDED WITH SOD. REFER TO GRADING PLAN
	NEW CONCRETE PAVING BLOCK
	NEW LIGHT POLE LOCATION
	NEW FENCE CONSTRUCTION
	AREA OF NEW TREE REFER TO PLANTING SCHEDULE FOR SIZE AND TYPE
	AREA OF NEW SHRUB REFER TO PLANTING SCHEDULE FOR SIZE AND TYPE

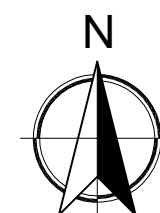
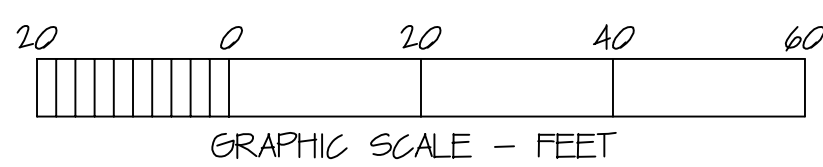
PLANTING SCHEDULE

REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS. ALL PLANTINGS MAY BE SUBSTITUTED DUE TO REGION OR LOCAL REQUIREMENTS IF NECESSARY

MARK	COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE @ PLANTING
	LACEBARK ELM	ULMUS PARVIFOLIA	6	2" CALIPER
	BRISTLECONE PINE	PINUS ARISTATA	1	5' IN HEIGHT
	CHOKO CHERRY	PRUNUS VIRGINIANA	5	5' IN HEIGHT
	FOURWING SALT BRUSH	ARTIPLEX CANESCENS	91	5 GALLON 24" SPREAD

1 LANDSCAPE PLAN

L1 SCALE: 1" = 20'

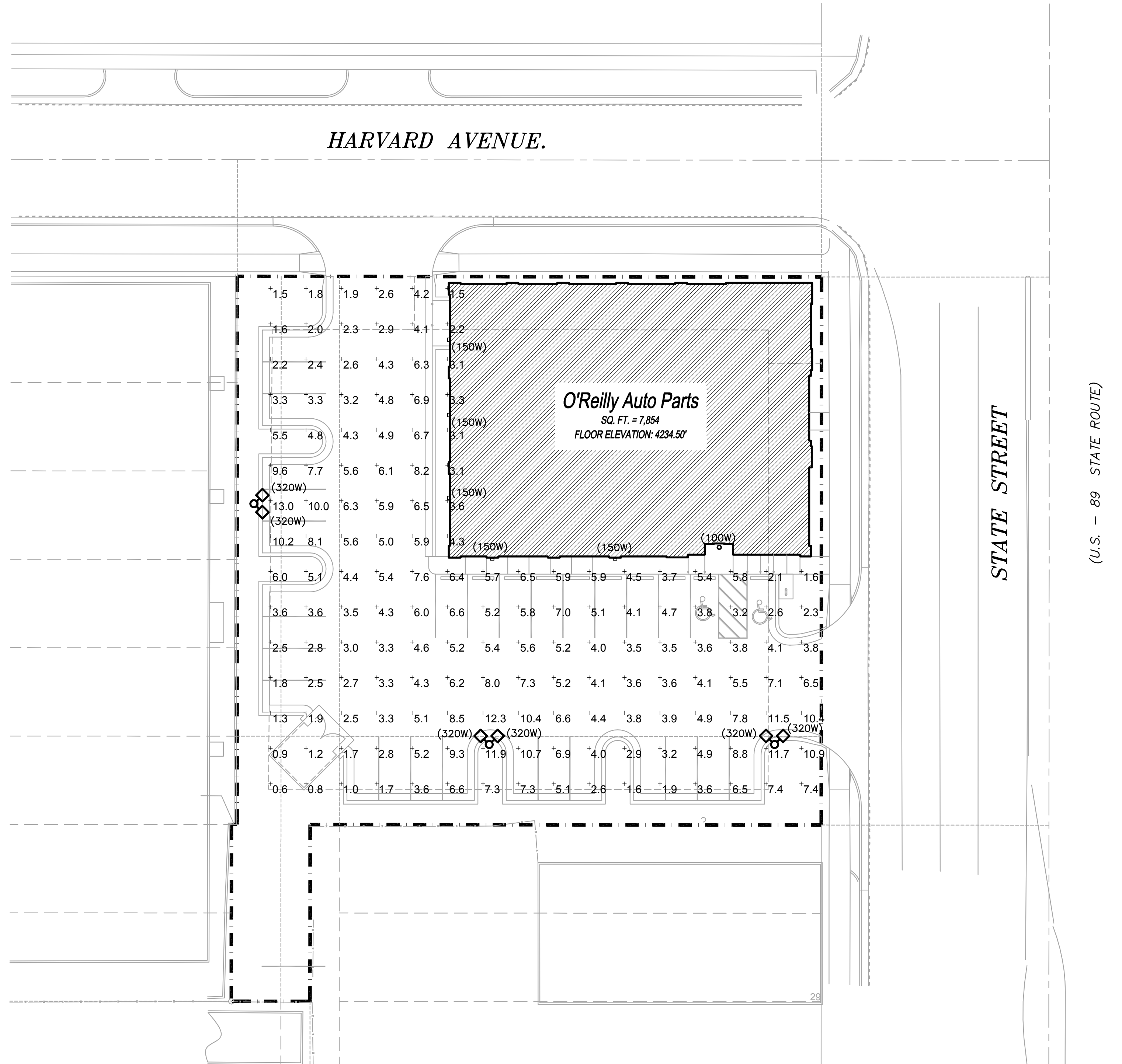


NOT FOR CONSTRUCTION!
 417-862-0558
 Fax: 417-862-3265
 e-mail: architect@eterlyschneider.com
CRAIG A. SCHNEIDER, AIA
ARCHITECT
 1736 East Sunshine, Suite 417
 Springfield, Missouri 65804
 (SALT LAKE CITY #1)
 New O'Reilly Auto Parts Store
 1122 SOUTH STATE ST
 SALT LAKE CITY, UT

O'Reilly AUTO PARTS
 233 SOUTH PATTERSON
 SPRINGFIELD, MISSOURI 65802
 417-862-2674 PHONE

COMM #	
DATE:	8-18-11
REVISION DATE:	10-4-11
	10-28-11

PRELIMINARY - NOT FOR CONSTRUCTION



1
SU2 **SITE LIGHTING PLAN**
SCALE: 1"=20' NORTH

PRELIMINARY, FOR REVIEW ONLY.

Cameron K. Collins, P.E. #172194-2202
200 East Sunshine
Springfield, Missouri 65802
phone 417.861.0020
fax 417.861.0053
mfc.com
malone@malonefinklebockhardtcollins.com

O'Reilly AUTO PARTS
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
417-862-2674 PHONE

New O'Reilly Auto Parts Store:
1122 SOUTH STATE ST
SALT LAKE CITY, UT
(SALT LAKE CITY #1)

CRAIG A. SCHNEIDER, AIA
ARCHITECT
1736 East Sunshine, Suite 417
Springfield, Missouri 65804
e-mail: architect@esterfyschneider.com

417.862.0558
Fax: 417.862.3265

COMM # ????

DATE: ?-?-11

REVISION

DATE:

**Attachment B
Site Photographs**



View from State Street



View from Harvard Avenue

**Attachment C
Public Comments**

OPEN HOUSE ATTENDANCE ROLL

September 12, 2011

O'Reilly Auto Parts Store

PLNPCM2011-00464

Building and Site Design Review

PRINT NAME <u>Cindy Cromer</u>	PRINT NAME _____
ADDRESS <u>816 E 100 S</u>	ADDRESS _____
ZIP CODE <u>84102-4109</u>	ZIP CODE _____
E-MAIL <u>3cins1c@live.com</u>	E-MAIL _____
PRINT NAME <u>Kree Huffer</u>	PRINT NAME _____
ADDRESS <u>Utah Heritage Foundation</u>	ADDRESS _____
ZIP CODE _____	ZIP CODE _____
E-MAIL _____	E-MAIL _____
PRINT NAME <u>James Torgersen</u>	PRINT NAME _____
ADDRESS <u>828 S. 700 E.</u>	ADDRESS _____
ZIP CODE <u>84102</u>	ZIP CODE _____
E-MAIL <u>Pr Torg @ Hot mail.com</u>	E-MAIL _____
PRINT NAME <u>Emoli Kearns</u>	PRINT NAME _____
ADDRESS <u>46 E Herbert Av.</u>	ADDRESS _____
ZIP CODE <u>84111</u>	ZIP CODE _____
E-MAIL <u>emoli@vintagewindows.com</u>	E-MAIL _____

OPEN HOUSE
September 12, 2011

O'Reilly Auto Parts Store
PLNPCM2011-00464

Conditional Building and Site Design Review

Name: Cindy Cromer

Address: 816 E 100 S

E-mail: 3cinslc@live.com

Phone: 801 209-9225

Written comments:

① Auto parts business is needed in the area due to closure of other stores

② Grass as part of landscaping serves no purpose. It will require water and maintenance. An alternative would be a creeping juniper - evergreen, no supplemental water once established.

Attachment D
Department Comments

Transportation Division Review

Barry Walsh

August 25, 2011

The division of transportation review comments and recommendations are as follows: Drive approaches are to be per local standards, SLC APWA 225 and UDOT D-4, with sidewalks to be continuous at grade (no ramps). Note on Civil plans the removal of the dead drive approaches and replacement with C&G. Control site drainage to prevent surface drainage across public sidewalks. Review landscaping etc for sight distance clear zone at driveway, 10x10 triangle along sidewalk, standards E2.c1. Coordinate street tree planting approvals with City Forester. Review proposed curb stop tripping hazard revision to 6' wide sidewalk with parking standard 2'-6" overhang.

October 10, 2011

Past transportation review comments for drainage control over public sidewalk and continuous sidewalk thru driveways have been revised. Along with notation for UDOT and SLC standard drive approaches and CSZ. The parking stalls and access have been dimensioned as 9x18 stalls. The bike rack is noted but Sheet C-3 Details has not been submitted for review. On the utility sheet please note coordination with Michael Barry - Salt Lake City Street Lighting Coordinator (801-535-7147) for relocation of light pole. Final permit approval is subject to full permit plan set review.

Engineering Division Review

Scott Weiler

September 6, 2011

For a new drive approach to take the place of the existing cracked drive approach in Harvard Ave., some curb & gutter may be required as well. The existing dead drive approach in State Street, the existing piped drive approach in State Street, the existing paved park strip in State Street and the existing cracked sidewalk panels in State Street must be removed as part of this project. The proposed drive approach in State Street requires approval and a permit from UDOT, prior to constructing it. Prior to installing the proposed drive approach (APWA Std. Plan 225) in Harvard Ave. and new sidewalk in State Street, a Permit to Work in the Public Way must be obtained from SLC Engineering.

More information is required on the Landscape Plan to show how the park strips in Harvard Ave. and State Street will be irrigated and landscaped.

October 11, 2011

Although they submitted an Irrigation Plan, I don't see where the designer has addressed my previous comment regarding irrigation of the park strips. I wrote on my previous review:

More information is required on the Landscape Plan to show how the park strips in Harvard Ave. and State Street will be irrigated and landscaped.

Demolition of the existing dead drive approach in State Street, the existing piped drive approach in State Street and the existing paved park strip in State Street was also mentioned in my previous review but a demolition plan is not included to show this. Also, some existing cracked sidewalk panels in State Street must be removed as part of this project.

As I looked at this latest submittal, I noticed that the proposed design moves the existing east egress door northward. For this to be successful, the elevation of the door and the State Street sidewalk must be designed in a way that the egress will meet the building code. In other words, the door must open onto a surface with a 2% slope. I could see no elevations to confirm that the door elevation will be relatively close to the sidewalk elevation.

Public Utilities Department Review

Justin Stoker

September 12, 2011

I have reviewed the application package and conceptually, the project does not appear to cause any concerns to the Public Utilities department. There is an existing 1-inch water service and an existing sewer service off of State Street that may be reused. The applicant will need to go through the demolition permit process and cut the existing utility services back to the meter and property line and protect the stubs during demolition. After the demolition process, new connections may be made to the proposed building. The final improvements will need to be reviewed and approved by this department during the building permit phase. Grading and utility plans, designed by a licensed civil engineer will be required for review and permitting.

Building and Zoning Division Review

Ken Brown

August 26, 2011

This development proposal must include the following information and supporting documentation on the plans as follows;

1. On the site plan;
 - a. The parcel/sidwell number and legal description,
 - b. The property lines along with the dimensions of each,
 - c. All public way improvements such as sidewalks, lights, trees, approaches, fire hydrants, etc., and identified as “existing” or “proposed” along with Drawing Symbols indicating where the details for each element may be found,
 - d. At driveways, the 10’ sight distance area,
 - e. No boulders, shrubs or plants greater than 18” within any sight distance triangle,
 - f. A minimum landscaped setback of 15’ at the front and corner side yard parking areas,
 - g. The identification of all power and/or utility easements,
 - h. Any overhead power lines, etc.
2. On the landscape plan;
 - a. Documentation of required/provided park strip landscaping per 21A.48 (trees and ground cover),
 - b. Documentation of required/provided CC front yard landscaping per 21A.48 (trees, bushes and ground cover),
 - c. Documentation of required/provided interior and perimeter parking lot landscaping per 21A.48 (trees, bushes and ground cover), etc.
3. On the elevation drawings;
 - a. Documentation of required/provided percentage of glass along each frontage to determine the extent of noncompliance.

Planning Division Review

Elizabeth Reining

September 12, 2011

1. The door on State Street should be better emphasized to distinguish that the building is oriented to State Street and not the parking lot. It should be a “distinctive and prominent element of the building’s architectural design.”
2. The north elevation along Harvard Avenue does not meet the 25% glass requirement. Please provide a narrative to explain this.
3. Parking areas are required to have a large, broadleaf canopied tree for every 6 parking spaces. Only two trees matching that description are shown.
4. Provide lighting location for review.
5. One street tree per 30 feet of street frontage is required, plantings along Harvard Avenue do not meet this standard.

6. Parking is not allowed in the front yard setback (15 feet) off State Street and Harvard Avenue.
7. A sidewalk should be provided along the rear of the building to provide a pathway from parking spots at the rear of the property to the building's entrances.
8. Show your loading area.
9. Show the square footage of signage to check for compliance.
10. 5% of the interior parking lot needs to be dedicated to landscaping. Creek gravel is not considered landscaping material. Acceptable plant material can be found in 21A.48.070.B.2.c.

October 14, 2011

1. How will the plantings in the park strip along Harvard be irrigated?
2. Chokeberry bushes are shown along Harvard. They do not qualify as street trees. One street tree is required per 30 feet of street frontage.
3. As noted previously, a sidewalk should be provided along the rear of the building to provide a pathway from parking spots at the rear of the property to the building's entrances.